# KAEMPF RESIDENCE

PERMIT DRAWING SET - AUGUST 8, 2023



# PROJECT INFORMATION

JURISDICTION PROJECT NO:
PROJECT ADDRESS:
ASSESSOR PARCEL NO:

LEGAL DESCRIPTION:
PROJECT DESCRIPTION:

MAN

MINOR FIRST FLOOR INTERIOR RENOVATION AND SECOND FLOOR ADDITION WITH A PROPOSED

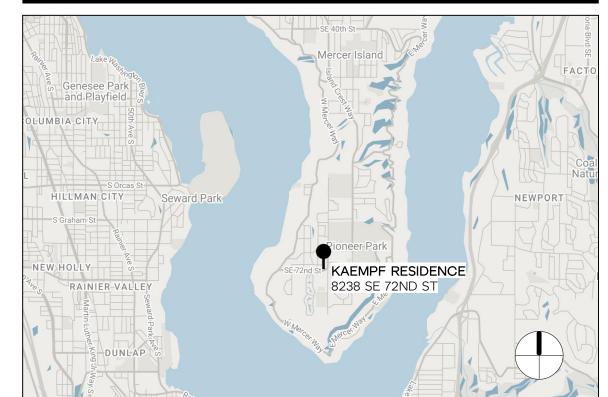
REQUIRES NFPA 72 "CHAPTER 29" MONITORED FIRE ALARM SYSTEM PER NFPA AND COMI STANDARDS.

8238 SE 72ND ST, MERCER ISLAND, WA 98040

TWIN VIEW ADD BLOCK 1 LOT 9

873220-0090

# VICINITY MAP



# DRAWING INDEX

COVER SHEET // GENERAL

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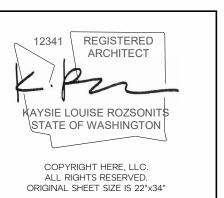
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# **PROJECT**

OWNER:	JESSICA + JOEY KAEMPF
	JESSICA KAEMPF
	8238 SE 72ND ST
	MERCER ISLAND, WA 98040
	t: 925.984.1763
	jamkaempf@gmail.com
ARCHITECT: H	HERE architecture + interiors
	KAYSIE ROZSONITS
	9221 11TH AVE SW
	SEATTLE, WA 98106
	t: 425.830.2360
	kaysie@here.desigr
	www.here.desigr
STRUCTURAL:	Swensen Say Fage
	JOCELYN TETREAULT, PE
	2124 THIRD AVE, SUITE 100
	SEATTLE, WA 98121 t: 206.443.6212
	itetreault@ssfengineers.com
	Jietreaurt@ssrengmeers.com
CONTRACTOR	
	JAMES HOBAN
	411 JOHNSON STREET
	ENUMCLAW, WA 98022
	t: 425.442.1425

jamesbh123@gmail.com WACL #: HOBANWL841DU





MERCER ISLAND, WA 98040 A + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISION

A 05.22.2023 PLAN CHANGE

ISSUANCE

09.28.2022 SCHEMATIC PRICING
03.09.2023 PERMIT SUBMITTAL

**PLOTTED:** 8/8/2023 12:58:28 PM

GENERAL INFORMATION

COVER SHEET //
GENERAL INFORMATION

LAMINATED(D)

LAVATORY

LAV

ABB	REVIATIO		
@ AB ABV AC ADJ AFF AFG ANCH APPROX	AT ANCHOR BOLT ABOVE AIR CONDITIONING ADJUSTABLE ABOVE FINISH FLOOR ABOVE FINISH GRADE ANCHOR APPROXIMATE (LY)	LB LL LT LTG LVR LT WT LVL	LAG BOLT LIVE LOAD LIGHT LIGHTING LOUVER LIGHT WEIGHT MICROLAM LAMINATED VENEER LUMBER
AFROA ARCH AW BF BLDG BM BOT BRG BTWN	APPROXIMATE (ET) ARCHITECT (URAL) AWNING  BOTTOM FLUSH BUILDING BEAM BOTTOM BEARING BETWEEN	MAX MECH MED MFR MIN MISC MTL MW	MAXIMUM MECHANICAL MEDIUM MANUFACTURER MINIMUM MISCELLANEOUS METAL MICROWAVE
C CB CFM CJ CLG CLR CNTR COL CONC	CASEMENT CATCH BASIN CUBIC FEET PER MINUTE CEILING JOIST CEILING CLEAR CENTER COLUMN CONCRETE	NEC NIC NTS O/ OD OC OFCI	NECESSARY NOT IN CONTRACT NOT TO SCALE  OVER OUTSIDE DIAMETER ON CENTER OWNER FURNISHED CONSTRACTOR INSTALLED OWNER FURNISHED OWNER
CONST CONT CONTR COORD	CONSTRUCTION CONTINUOUS CONTRACTOR COORDINATE  DRYER	OH OPP OV PC	INSTALLED OVERHEAD OPPOSITE OVEN PIPE COLUMN
DB DEMO DHW  DIA DIM DL DN DRY DS	DROP BEAM DEMOLITION DOMESTIC HOT WATER HEATER DIAMETER DIMENSION DEAD LOAD DOWN DRYER DOWNSPOUT	PLAM PLYWD PSF PSI PSL PT PT PTD PWR	PLASTIC LAMINATE PLYWOOD POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PARALLEL STRAND LUMBER POINT PRESSURE TREATED PAINTED POWER
DW DWG EW	DISHWASHER DRAWING EACH WAY	QTY QUANT R	QUALITY QUANTITY RANGE
E EA EG ELEC EM EQ EQUIP EXH EXIST EXP EXT	EXISTING EACH EGRESS ELECTRICAL ELECTRIC METER EQUAL EQUIPMENT EXHAUST EXISTING EXPANSION EXTERIOR	RD REINF REQ'D REF REV RF RFG RM RO	REQUIRED REFRIGERATOR REVISION ROOF ROOFING ROOM ROUGH OPENING
FD FDN FIN FJ FL FO FURR FT FTG FURN	FLOOR DRAIN FOUNDATION FINISH FLOOR JOIST FLOOR FACE OF FURRING FOOT FOOTING FURNACE	SAF SC SCH SCHED SECT SF SG SH SIM SI SPEC	SELF-ADHERED FLASHING SOLID CORE SCHEDULE SCHEDULE SECTION SQUARE FOOT SAFETY GLAZING SINGLE HUNG SIMILAR SLIDING WINDOW OR DOOR SPECIFICATION
GA GALV GC GEN GL GM GR GWB	GAUGE, GAGE GALVANIZED GENERAL CONTRACTOR GENERAL GLASS GAS METER GRADE GYPSUM WALL BOARD	SPF SQ SQ FT SS S&R STD STL STRUCT SYM	SPRUCE, PINE, FIR SQUARE SQUARE FOOT STAINLESS STEEL SHELF AND ROD STANDARD STEEL STRUCTURAL SYMMETRICAL
HB HC HDR HDW HORIZ HR HT HVAC	HOSE BIB HOLLOW CORE HEADER HARDWARE HORIZONTAL HOUR (FIRE RESISTANT RATING) HEIGHT HEATING, VENTILATION & AC	TBD TF T&G TEMP THK TO TOG TYP	TO BE DETERMINED TOP FLUSH TONGUE AND GROOVE TEMPORARY, TEMPERATURE THICK TOP OF TOGETHER TYPICAL
IG IN INCL INFO INSUL INT ISG	INSULATED GLASS INCH INCLUDING INFORMATION INSULATING, INSULATION INTERIOR INSULATED SAFETY GLASS	UNO VAR VENT VERT VG VIF	UNLESS NOTED OTHERWISE  VARIES  VENTILATION  VERTICAL  VERTICAL GRAIN  VERIFY IN FIELD
JT	JOINT	W W/	WASHER WITH
KD KP	KILN DRIED KING POST  LAMINATED(D)	W/O WASH W/D WM	WITHOUT CLOTHES WASHER WARMING & DRYER WATER METER

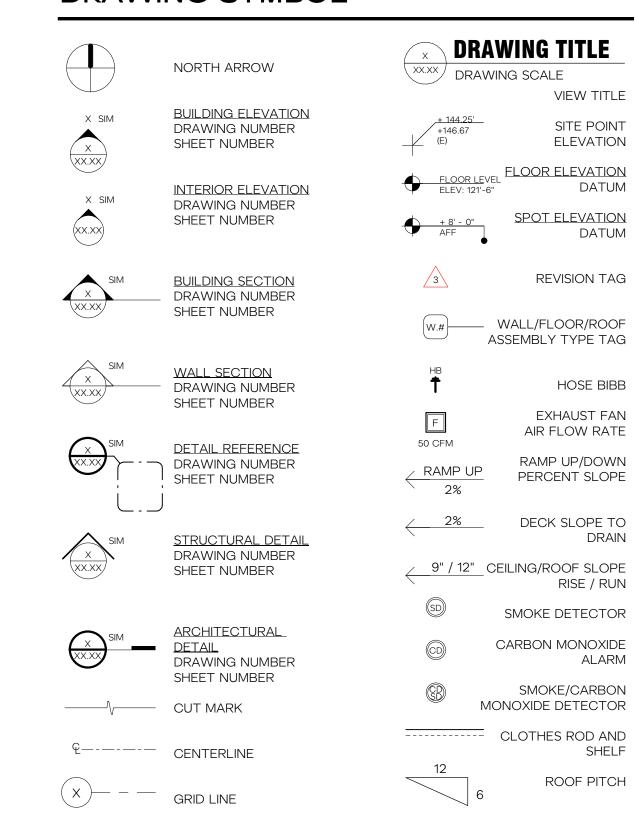
WATER METER

WIRE SHELVING WELDED WIRE MESH

NUMBER OF POUND(S)

WS

# DRAWING SYMBOL



# **ELECTRICAL SYMBOL**

DOOR CHIME

Ψ	110V DUPLEX OUTLET  GFI = GROUND FAULT INTERRUPTEF  EXT = EXTERIOR	۶ -	FLUSH / SEMI-FLUSH FIXTURE
220 <b>Ф</b>	220V OUTLET	$\Phi$	WALL-MOUNTED FIXTURE
₩	110V 4-PLEX OUTLET	$\oplus$	PENDANT FIXTURE
GFI	FLOOR DUPLEX OUTLET (GFI)	$\boxtimes$	RECESSED CEILING FIXTURE
0	FLOOR OUTLET (OTHER)	$\otimes$	RECESSED DIRECTIONAL FIXTURE
igoplus	WALL OUTLET (SWITCHED)	*	SITE LIGHTING FIXTURE
<b>▼</b>	COM JACK T = TELEPHONE	8	TRACK LIGHTING FIXTURE
	C = CABLE D = DATA	<b>&gt;</b>	UNDERCABINET LIGHT FIXTURE
Ş	SINGLE POLE SWITCH D = DIMMER J = JAMB M = MOTION		SURFACE MOUNT STRIP FIXTURE
	T = TIMER 3 = 3-WAY SWITCH 4 = 4-WAY SWITCH	V	CORNER STRIP FIXTURE
Т	THERMOSTAT		CEILING MOUNTED FAN
SP	CEILING / WALL SPEAKER		W/ OPTIONAL LIGHTING KIT
© CLG	CEILING WIRELESS ACCESS POINT	U	
WH	WALL HEATER		ELECTRICAL WIRING
DB O	DOOR BELL		
[DO]			

### **CONTRACT GENERAL**

- 1. GENERAL CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION SITE MEETING WITH OWNER, ARCHITECT AND OTHER DESIGN CONSULTANTS, AS REQUIRED.
- 2. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADE CONDITIONS AND HEIGHT LIMITS WITH ARCHITECT ON SITE PRIOR TO BEGINNING OF WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN THE SITE SURVEY AND/OR OTHER DRAWINGS.
- 3. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODES, REGULATIONS, OR RULES OF JURISDICTIONS HAVING AUTHORITY.
- 4. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, AND SITE CONDITIONS, INCLUDING TAKING AND VERIFYING FIELD MEASUREMENTS AS NECESSARY.
- 5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, EXCEPT FOR THE GENERAL BUILDING PERMIT.
- 6. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL.
- 7. REPETITIVE FEATURES NOT INDICATED IN THE DRAWINGS EVERYWHERE THAT THEY
- OCCUR SHALL BE PROVIDED AS IF DRAWN IN FULL. 8. SEE SPECIFICATIONS BOOK FOR REQUIRED SHOP DRAWINGS. GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO ARCHITECT;
- AFTER ARCHITECT'S REVIEW, TO GOVERNING AUTHORITY. 9. THE INTENT OF ARCHITECTURAL DRAWINGS, DETAILS AND SPECIFICATIONS IS TO SHOW DESIGN APPROACH. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND BAILIWICK TO PROPERLY INSTALL AND EXECUTE A STRUCTURALLY SOUND, WATER AND AIR PROOFED, DURABLE PROJECT.
- 10. COORDINATE ALL EXTERIOR PENETRATIONS WITH ARCHITECT PRIOR TO PERFORMING WORK.
- 11. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE 2015 SEATTLE RESIDENTIAL CODE, THE WASHINGTON STATE ENERGY CODE, AND OTHER APPLICABLE CODES, RULES, AND REGULATIONS OF JURISDICTIONS HAVING AUTHORITY.
- 12. EXTERIOR GLAZING TO BE NFRC LABELED PER 2015 WSEC R303.1.3. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH-DIAMETER SPHERE CANNOT PASS.
- a) WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4-INCH-DIAMETER SPHERE TO PASS THROUGH.
- b) OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2090.

### **CONTRACT DIMENSION**

- 1. DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS, PRIOR TO PROCEEDING WITH WORK.
- 2. AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND DOORS, UNLESS NOTED OTHERWISE.
- 3. AT EXISTING CONSTRUCTION, DIMENSIONS ARE TO FINISH FACE OF MATERIALS, UNLESS NOTED OTHERWISE.
- 4. SITE PLAN DIMENSIONS UNACCOMPANIED BY A LICENSED SURVEY IN THE POSTED DRAWING SET ARE CONSIDERED APPROXIMATE AND FOR REFERENCE ONLY.
- 5. GRAPHIC SCALES ARE PROVIDED FOR REFERENCE ONLY. WHERE DRAWINGS OF DIFFERENT SCALES ARE PROVIDED ON THE SAME SHEET, GRAPHIC SCALES ARE REMOVED FOR CLARITY.
- 6. DIMENSIONS WITH ACCOMPANYING TEXT (E.G. CLEAR, HOLD, EQUAL) SHALL BE VERIFIED IN FIELD. ANY CHANGES TO THESE DIMENSIONS REQUIRE APPROVAL BY ARCHITECT.

# FINISHES KEY

# SCHEDULES KEY

NOTE: NOT ALL TYPES ARE USED IN NOTE: NOT ALL TYPES ARE USED IN THIS PROJECT. THIS PROJECT. ITEMIZED DECODIDADO

X = ITEMIZED DESCRIPTOR			EMIZED DESCRIPTOR F PROJECT MANUAL DIVISION
CARPET CP-X	SPECIALTY FINISH  SF-X	EG SG	EG = EGRESS SG = TEMPERED WINDOW TAG DOOR TAG
FABRIC FB-X	SOLID SURFACE SS-X	XXX SVG XX	SALVAGE TAG (DIVISION 2)
		L-XX	LIGHTING TAG (DIVISION 26)
GLASS	STONE ST-X	P-XX	PLUMBING TAG (DIVISION 22)
		SPC-X	SPECIALTY TAG (RESERVED)
METAL  MT-X	TILE (TL-X)	FUR-X	FURNISHINGS TAG (DIVISION 12)
		EQP-X	EQUIPMENT & APPLIANCE TAG (DIVISION 11)
PLASTIC LAMINATE  (PL-X)	WOOD WD-X	BAC-X	(BATH) ACCESSORY TAG (DIVISION 10)
PAINT	WALLCOVERING	(DAC-X)	(DECORATIVE) ACCESSORY TAG (DIVISION 10)
PT-X	WC-X	(HWC-X)	(CABINET) HARDWARE TAG (DIVISION 6)
RESILIENT FLOORING		(HWD-X)	(DOOR) HARDWARE TAG (DIVISION 8)
(RF-X)		(HWW-X)	(WINDOW) HARDWARE TAG (DIVISION 8)





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HERE PROJECT #:

2022015

PROJECT STANDARDS // CONTRACT NOTES

#### **VENTILATION & EXHAUST NOTES**

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE SECTIONS M1502, M1503, 1505 & M1507 **CLOTHES DRYER** 

- 1. CLOTHES DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS PER SECTION M1502.
- 2. VENTILATION DUCT FOR THE DRYER SHALL BE A MINIMUM 4" DIAMETER. THE MATERIAL SHALL BE 28 GAGE METAL WITH A SMOOTH INTERIOR FINISH PER SECTION M1502.3.
- 3. EXHAUSTS SHALL TERMINATE TO THE EXTERIOR AND CONTAIN A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION PER SECTION M1502.3

#### RANGE HOOD

- 1. RANGE HOODS SHALL TERMINATE TO THE EXTERIOR THROUGH A DUCT. THE DUCT SHALL HAVE A SMOOTH INTERIOR SURFACE, BE AIR TIGHT, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS PER SECTION M1503.1.
- 2. VENT SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE 1507.4.
- 3. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM PER SECTION M1503.4.

#### MECHANICAL VENTILATION - LOCAL EXHAUST

- 1. SOURCE SPECIFIC EXHAUST VENTILATION SHALL BE REQUIRED IN EACH KITCHEN, BATHROOM, WATER CLOSET, LAUNDRY ROOM, INDOOR SWIMMING POOL, SPA, AND OTHER ROOMS WHERE WATER VAPOR OR COOKING ODOR IS PRODUCED PER SECTION M1507.4.
- 2. KITCHENS SHALL VENT AT 100 CFM MIN INTERMITTENT OR 25 CFM CONTINUOUS PER TABLE M1507.4.
- 3. BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND SIMILAR SPACES SHALL VENT AT 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS PER TABLE M1507.4.
- 4. EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL BE EXHAUSTED DIRECTLY OUTDOORS PER SECTION M1507.2.
- 5. ALL VENTILATION SYSTEM CONTROLS SHALL BE READILY ACCESSIBLE. SOURCE SPECIFIC SYSTEMS SHALL BE CONTROLLED BY MANUAL SWITCHES, DEHUMIDISTATS, TIMERS OR OTHER APPROVED MEANS PER SECTION M1507.4.2.
- 6. EXHAUST DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED TO A MINIMUM OF R-4 PER SECTION M1507.3.6.4.

#### WHOLE HOUSE VENTILATION

- 1. A WHOLE HOUSE VENTILATION SYSTEM SHALL BE PROVIDED TO MEET THE REQUIREMENTS OF SECTION M1507. SIZE OF SYSTEM DETERMINED PER CALCULATION PROVIDED.
- 2. INTERMITTENTLY OPERATED WHOLE HOUSE VENTILATION SYSTEMS SHALL HAVE THE CAPABILITY FOR CONTINUOUS OPERATION, AND SHALL HAVE A MANUAL TIMER AND AN AUTOMATIC CONTROL, SUCH AS A CLOCK TIMER IF REQUIRED PER SECTION M1507.3.1.5.
- 3. WHOLE HOUSE VENTILATION SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS PER SECTION AND VENT TO THE EXTERIOR PER M1507.3.6.3.
- 4. WHERE LOCAL EXHAUST VENTS ARE USED FOR WHOLE HOUSE VENTILATION, THE MINIMUM EXHAUST RATE FOR THE LOCAL EXHAUST MUST BE MET (M1507.4) PER M1507.4

#### **ENERGY CODE**

#### REFERENCE: 2018 WASHINGTON STATE ENERGY CODE

R401.3 COMPLIANCE CERTIFICATE: A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC 401.3 IS REQUIRED TO BE COMPLETED BY A DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.

TABLE R402.1.1 INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT FOR CLIMATE ZONE MARINE 4

FENESTRATION U-FACTOR 0.30 0.50 SKYLIGHT U-FACTOR **CEILING R-VALUE** R-49<sup>1</sup> VAULTED CEILING R-VALUE R-38<sup>1</sup> WOOD FRAMED WALL R-VALUE R-21 INT BELOW-GRADE WALL R-VALUE \*\*10/15/21 + TB FLOOR R-VALUE R-30 SLAB ON GRADE R-VALUE & DEPTH \*\*\*R-10,2FT

INT - (INTERMEDIATE FRAMING) DENOTES STANDARD FRAMING 16 INCHES ON CENTER WITH HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

\*\* "10/15/21 + TB" MEANS R-10 CONTINUOUS INSULATION ON THE EXTERIOR OF THE WALL, OR R-15 CONTINUOUS INSULATION ON THE INTERIOR OF THE WALL, OR R-21 CAVITY INSULATION PLUS A THERMAL BREAK BETWEEN THE SLAB AND THE BASEMENT WALL AT THE INTERIOR OF THE BASEMENT WALL. "10/15/21 +TB" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE WALL. "TB" MEANS THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL

\*\*\* R-10 CONTINUOUS INSULATION IS REQUIRED UNDER HEATED SLAB (I.E. RADIANT FLOOR HEATED) ON GRADE FLOORS.

<sup>1</sup> IF ADVANCED FRAMING ALLOWS FULL DEPTH ACROSS ENTIRE SURFACE R-38 IS ACCEPTABLE. INSTALL R-49 IF INSULATION IS REDUCED AROUND CEILING PERIMETER

ADDITIONS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL CONFORM TO THE PROVISIONS OF THIS CODE AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTION OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE. ADDITIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD EXISTING BUILDING SYSTEMS. AN ADDITION SHALL BE DEEMED TO COMPLY WITH THIS CODE WHERE THE ADDITION ALONE COMPLIES, WHERE THE EXISTING BUILDING AND ADDITION COMPLY WITH THIS CODE AS A SINGLE BUILDING, OR WHERE THE BUILDING WITH THE ADDITION USES NO MORE ENERGY THAN THE EXISTING BUILDING. ADDITIONS SHALL BE IN ACCORDANCE WITH SECTION R502.1.1 OR R502.1.2.

#### ENERGY CREDITS SELECTED FOR 846 SF ADDITION:

HEATING	2	HEAT PUMP	1.0 CREDITS
BUILDING ENVELOPE	_	FEFICIENT ENVELOPE	1.0 CREDITS
20.22			
HIGH EFFICIENCY HVAC	3.0	DOOTEEOO OF EFF OF OTENTIES AT FORM	2.0 CREDITS
		TOTAL CREDITS	4.0 CREDITS

#### **BUILDING AREA**

	EXISTING TO REMAIN	NEW	EXISTING + NEW
CONDITIONED SPACE (INTERIOR)			
BASEMENT	1,500 SF	0 SF	1,500
FIRST FLOOR	2,043 SF	0 SF	2,043
SECOND FLOOR	0 SF	894 SF	894
TOTALS	3,543 SF	894	4,437

### MECHANICAL VENTILATION

TOTAL REQUIRED CONTINUOUS VENTILATION

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE M1505 2018 WASHINGTON STATE ENERGY CODE (RESIDENTIAL) R403

2010 WASI III VATON S	2010 WASHINGTON STATE ENERGY GODE (RESIDENTIAL) NATO				
	REQUIRED CONTINUOUS VENTILATION PER				
		IA	BLE M1505.4.3(1)		
DWELLING UNIT FLOOR AREA (ALTERED)		TOTAL SF	REQUIRED AIRFLOW		
SECOND FLOOR	846 SF	846 SF			
NUMBER OF BEDROOMS	1				
			30 CFM		

INTERMITTENT VENTILATION ADJUSTMENT FACTOR PER RATE: 100% x1 = 30M1505.4.3.(3) x1.5 = 45SYSTEM COEFFICIENT (NOT BALANCED + NOT DISTRIBUTED)

CONTINUOUS VENTILATION PROVIDED BY PANASONIC WHISPERGREEN SELECT 110 CFM 0.8 SONE CEILING MOUNTED ENERGY STAR RATED BATHROOM FAN.

### **BUILDING CODE**

#### REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE

#### R302.6 DWELLING / GARAGE SEPARATION

- THE GARAGE SHALL BE SEPARATED AS FOLLOWS: • MINIMUM 1/2" GYPSUM WALL BOARD APPLIED TO GARAGE SIDE AT WALLS (1 HOUR
- MINIMUM 5/8" TYPE X GYPSUM WALL BOARD APPLIED TO THE CEILING OF GARAGE.
- MINIMUM 1/2" GYPSUM WALL BOARD AT STRUCTURES SUPPORTING THE GARAGE
- MINIMUM 1 3/8" SOLID CORE DOOR, OR 20-MIN FIRE RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE.

#### R304 AND R305 ROOM DIMENSION REQUIREMENTS

- HABITABLE SPACE SHALL HAVE A MINIMUM CEILING HEIGHT OF 7'-0".(6'-4" PERMITTED IN CITY OF SEATTLE PER DIRECTOR RULE 23-2008 IF THE EXISTING STRUCTURE WAS CONSTRUCTED PRIOR TO OCTOBER 17, 1979, BUT ALL BEAMS, DUCTS, ETC MUST BE ABOVE THIS HEIGHT)
- BEAMS, GIRDERS AND DUCTS MAY HAVE A CLEAR HEIGHT OF 6'-4".
- BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOM SHALL HAVE A MINIMUM
- CEILING HEIGHT OF 6'-8". A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD MUST HAVE AN AREA OF 30"
- X 30" WITH 6'-8" CEILING HEIGHT AT THE SHOWERHEAD. FOR ROOMS WITH SLOPED CEILINGS, THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 5'-0" AND NOT LESS THAN 50%
- OF THE REQUIRED FLOOR AREA SHALL HAVE A CEILING HEIGHT LESS THAN 7'-0" HABITABLE ROOMS (SLEEPING ROOMS) SHALL HAVE A FLOOR AREA NOT LESS THAN 70 SQUARE FEET.
- HABITABLE ROOMS (SLEEPING ROOMS) SHALL NOT BE LESS THAN 7'-0" IN ANY HORIZONTAL DIMENSION.

ALL GLAZING IN HAZARDOUS LOCATIONS SHALL RECEIVE SAFETY GLASS. THE SAFETY GLASS DESIGNATION SHALL BE VISIBLY MARKED ON EACH WINDOW AS REQUIRED BY CODE. THE FOLLOWING AREAS ARE HAZARDOUS LOCATIONS AND SHALL RECEIVE SAFETY GLASS:

#### GLAZING IN DOORS

- GLAZING WITHIN 24" ARC OF EITHER VERTICAL EDGE OF DOOR IN A CLOSED POSITION AND WHERE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE FINISH FLOOR.
- GLAZING IN WINDOWS THAT MEETS ALL OF THE FOLLOWING:
- A. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET B. BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE FINISH FLOOR
- C. THE TOP EDGE OF GLAZING IS MORE THAN 36" ABOVE FINISH FLOOR D. ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY
- AND IN A STRAIGHT LINE OF THE GLAZING. GLAZING AT WET SPACES WHERE THE BOTTOM OF EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" (EXCEPTION: FOR GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF
- GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAY.

#### R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

- BASEMENTS, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE NOT
- LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING • THE OPENING SHALL HAVE MAX CLEAR OPENING SILL HEIGHT OF 44" ABOVE FINISH FLOOR, AND IT SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD THAT
- THE OPENING SHALL HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET, WITH
- MINIMUM NET CLEAR HEIGHT OF 24" AND MINIMUM NET CLEAR WIDTH OF 20". THE OPENING SHALL BE OPERATIONAL FROM INSIDE THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE.
- WINDOW WELLS, IF REQUIRED, SHALL HAVE A MINIMUM AREA OF 9 SQUARE FEET. WITH MINIMUM PROJECTION AND WIDTH OF 36". THE WINDOW WELL SHALL
- ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED. IF WINDOW WELL HAS A VERTICAL DEPTH GREATER THAN 44" (FROM GRADE) A LADDER OR STEPS SHALL BE AFFIXED TO THE WINDOW WELL AND ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED. LADDERS OR RUNGS SHALL HAVE A INSIDE WIDTH OF NOT LESS THAN 12" AND SHALL NOT PROJECT LESS THAN 3" MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.
- WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE

#### R312 WINDOW FALL PROTECTION

 WHEN THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE FINISH GRADE BELOW (EXTERIOR SIDE), THE LOWEST PART OF CLEAR OPENING SHALL BE MINIMUM 24" ABOVE FINISH FLOOR. IF CLEAR OPENING IS LESS THAN 24" ABOVE FINISH FLOOR, MAX WINDOW OPENING SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.

#### R314 SMOKE DETECTORS /315 CARBON MONOXIDE ALARM

PROVIDE A SMOKE DETECTOR AND CARBON MONOXIDE IN THE FOLLOWING LOCATIONS:

- SD: IN EACH SLEEPING ROOM.
- SD: OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF
- CD: MINIMUM ONE AT EACH STORY OF THE DWELLING INCLUDING BASEMENT.

#### R807.1 ATTIC ACCESS

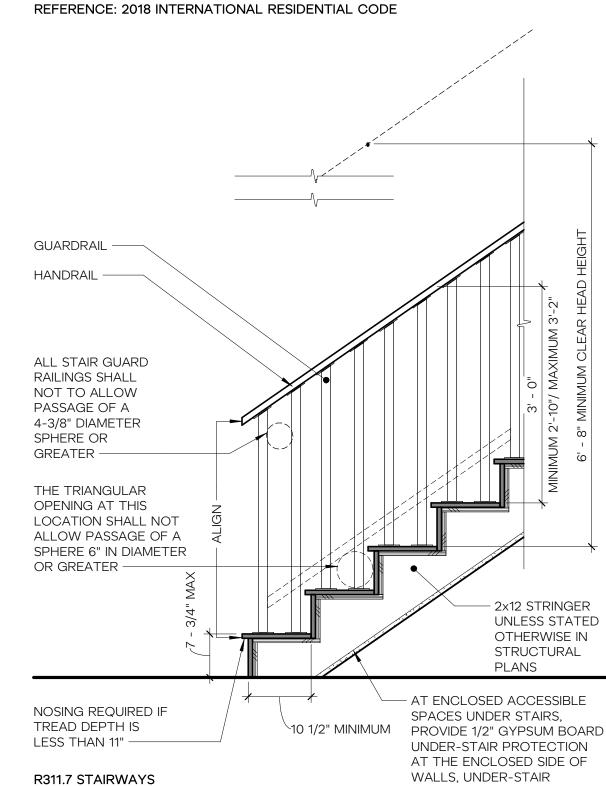
- IN BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION, AN ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER.
- THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES. AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A 30-INCH MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING.

#### NOTES

45 CFM

 ALL CODE SUMMARIES ABOVE ARE FOR REFERENCE ONLY PLEASE REFER TO THE JURISDICTION'S BUILDING DEPARTMENT AND CODES FOR FURTHER DETAILS

#### STAIR CODE



SURFACES, AND SOFFITS, AS INDICATED BY R302.7 RISER HEIGHT SHALL BE A MAXIMUM OF 7 3/4" PER R311.7.5.1

**EXCEPTION** 

• TREAD DEPTH SHALL BE A MINIMUM OF 10" PER R311.7.5.2

• TREAD WIDTH SHALL BE MINIMUM OF 3'-0" PER R311.7.1 FOR WINDING STAIRS PROVIDE A MINIMUM 10" TREAD AT 12" FROM THE NARROWEST

• A NOSING IS NOT REQUIRED WHERE TREAD DEPTH IS MINIMUM 11" PER R311.7.5.3

- POINT AND A MINIMUM 6" TREAD AT THE NARROWEST POINT PER R311.7.5.2.1 • CLEAR HEAD HEIGHT TO BE A MINIMUM OF 6'-8" MEASURED VERTICAL FROM THE TREAD NOSING PER R311.7.2
- OPEN RISERS TO NOT ALLOW A 4" DIAMETER SPHERE OR GREATER TO PASS PER
- A FLIGHT OF STAIR SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12'-3" PER
- LANDING WIDTH SHALL BE NO LESS THAN THE WIDTH OF STAIRWAY, AND MINIMUM 36" DEPTH PER R311.7.6.

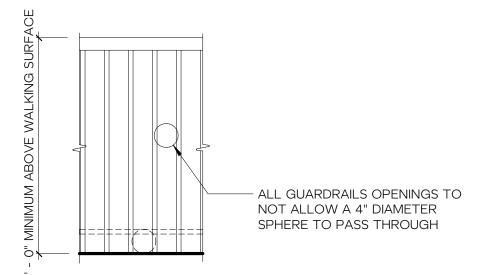
- HANDRAIL HEIGHT, MEASURED VERTICALLY, SHALL BE BETWEEN 34" AND 38" PER
- R311.7.8.1 • HANDRAILS SHALL BE CONTINUOUS FOR FULL FLIGHT PER R311.7.8.2.
- HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS PER

### • HANDRAIL TO BE A MINIMUM OF 1 1/2" IN DIAMETER PER R311.7.8.2.

- GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF
- THE TREADS PER R312.1.2.1 GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4-3/8 INCHES IN DIAMETER. PER R312.1.3.2
- THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR FORMED BY THE RISER, TREAD, AND BOTTOM RAIL GUARD SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER PER R312.1.1.1

#### **GUARDS CODE**

#### REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE



- GUARDS ARE REQUIRED AT OPEN-SIDED WALKING SURFACES LOCATED MORE THAN 30" ABOVE ADJACENT WALKING SURFACE OR GRADE PER R312.1.2
- GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT VERTICALLY ABOVE THE
- WALKING SURFACE PER R312.1.2 GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES PER
- GUARDRAIL TO BE DESIGNED TO RESIST A 200 LB CONCENTRATED LOAD ON THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS PER R301.5.

NOTE: GUARD EXCEPTIONS FOR STAIRS NOTED ON STAIR CODE REQUIREMENTS





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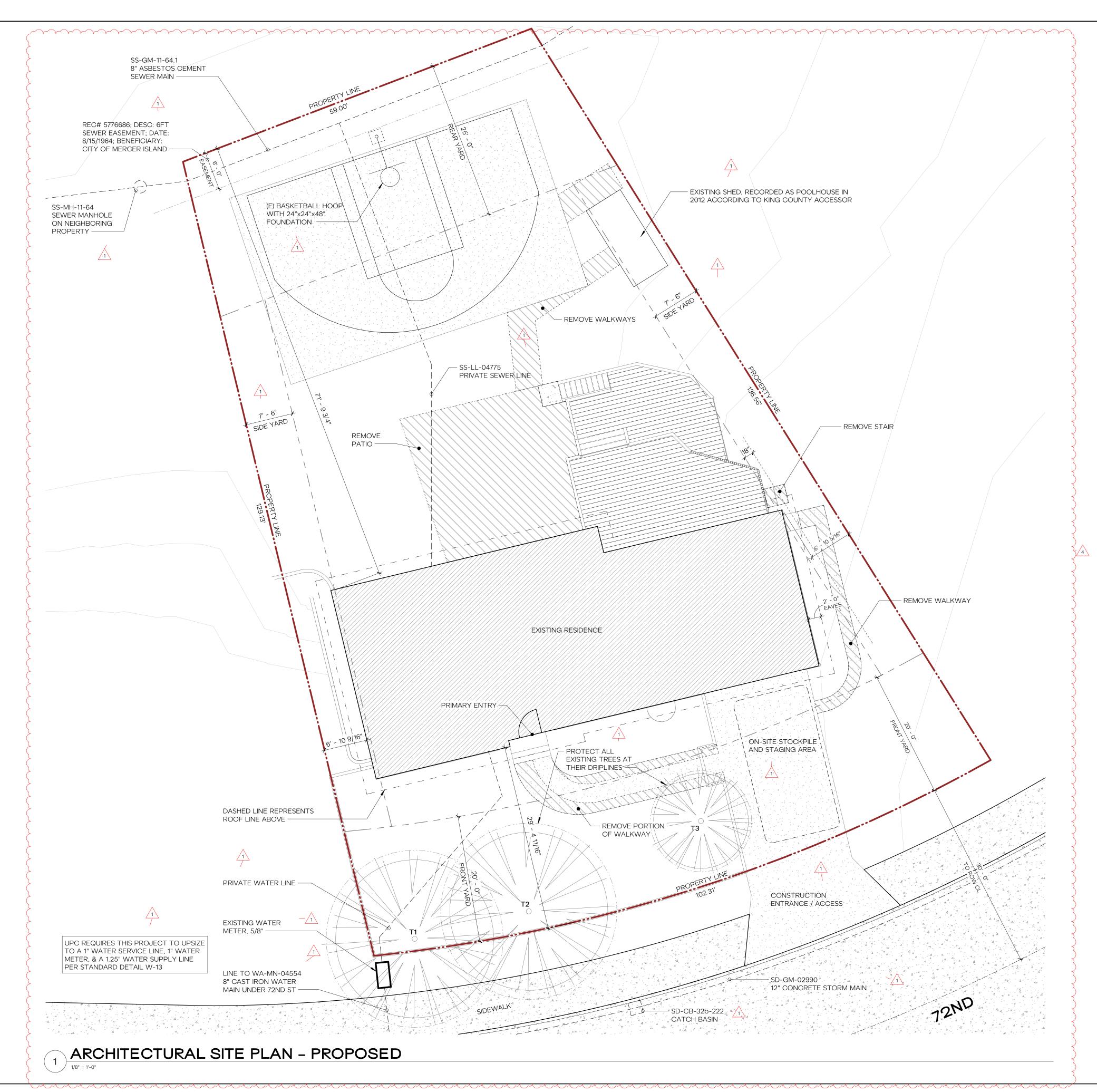
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BUILDING // ENERGY CODE SUMMARY



# SITE PLAN NOTES

ANY GROUND DISTURBANCE.

- 1. INSTALLATION OF EROSION CONTROL MEASURES IS REQUIRED PRIOR TO
- 2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A "FIRST GROUND DISTURBANCE INSPECTION" AFTER THE BUILDING PERMIT IS ISSUED TO MEET WITH THE SITE INSPECTOR.

# LAND USE / ZONING CODE

R-9.6 LOT SIZE: 10,893 SF FRONT SETBACK: 20'-0" MIN. REQ'D: PROPOSED: 29'-4 11/16" NO CHANGE REAR SETBACK: MIN. REQ'D: 71'-9 3/4" NO CHANGE PROPOSED: EAST SIDE SETBACK: MIN. REQ'D: 6'-10 5/8" NO CHANGE PROPOSED: WEST SIDE SETBACK: MIN. REQ'D: 6'-10 9/16" NO CHANGE MAXIMUM GROSS FLOOR AREA: 40% 4,357 SF ALLOWED: EXISTING: 2,793 SF AVAILABLE: 1,564 SF PROPOSED: 894 SF

# SITE PLAN

EXISTING PERIMETER WALL

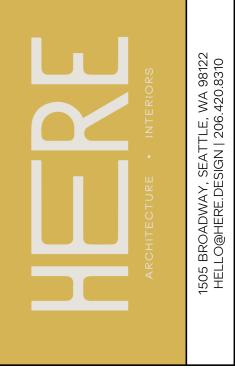
CONCRETE WALKWAY

ROOF ABOVE

PROPERTY LINE

LINE OF SETBACK

PAVING TO REMOVE



PRELIMINARY NOT FOR CONSTRUCTION

ALMPI RESIDENC

HERE PROJECT #: 202201

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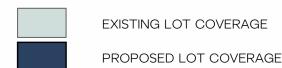
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SITE PLAN // LAND USE CODE SUMMARY

0' 4' 8' 16' 32'

# LOT COVERAGE CALCULATION

NET LOT AREA 40% OF LOT AREA (MAX BUILDING COVERAGE) AS PER MICC 19.02.020.F.3 FOR LOTS WITH A SLOPE OF LESS THAN 15%	= =	10,540 SF 4,216 SF
EXISTING LOT COVERAGE ADDED LOT COVERAGE	= =	2,630 SF 0 SF
TOTAL LOT COVERAGE	=	2,630 SF NO CHANGE
*UNUSED LOT COVERAGE	=	1,586 SF
EXISTING LOT COVERAGE		



# LANDSCAPING AREA

NET LOT AREA 60% OF LOT AREA (MINIMUM LANDSCAPE COVERAGE)	= =	10,540 SF 6,324 SF
EXISTING LANDSCAPING AREA ADDED LANDSCAPING AREA	=	6,376 SF 0 SF
TOTAL LANDSCAPING SQUARE FOOTAGE	=	6,376 SF NO CHANGE



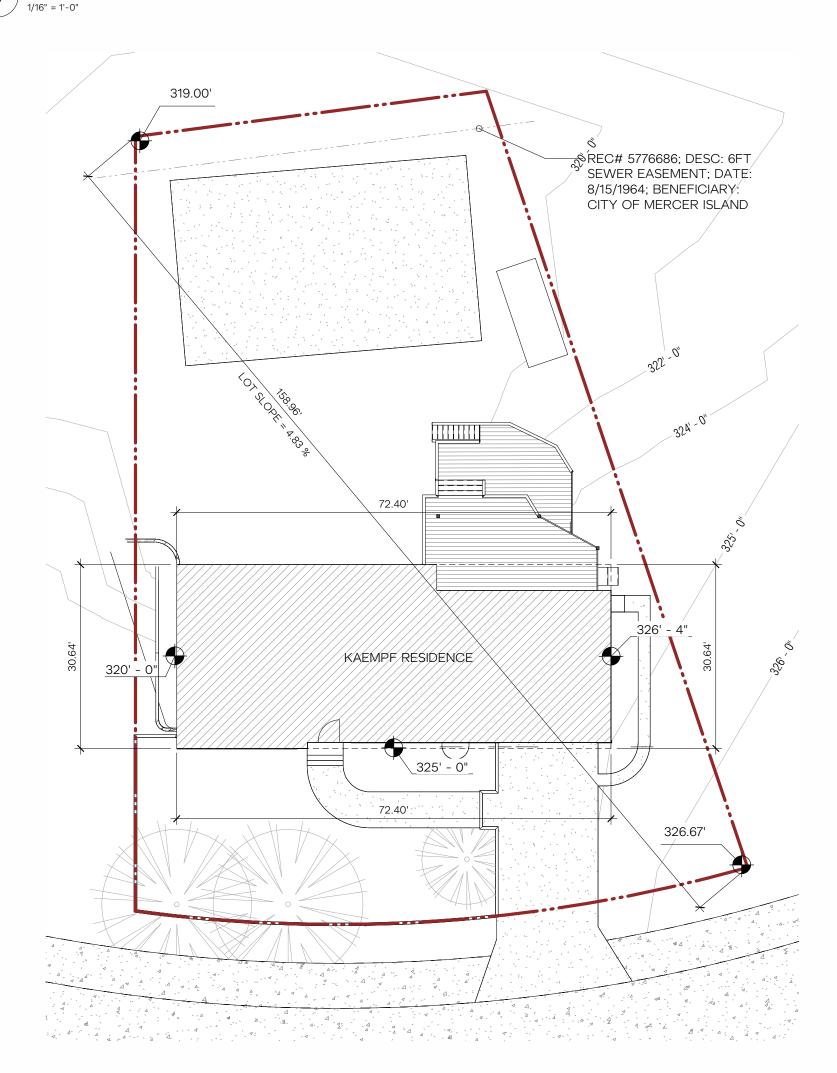




# SOUTH ELEVATION - MAX BUILDING HEIGHT



# NORTH ELEVATION - MAX BUILDING HEIGHT



AVERAGE GRADE DIAGRAM // LOT SLOPE

# **AVERAGE BUILDING ELEVATION**

MICC 19.02.020.E.4: AT THE MIDPOINT OF EACH SIDE OF THE SMALLEST RECTANGLE THAT CAN BE DRAWN TO ENCLOSE THE STRUCTURE.

PROJECT ELEVATION 0'-0" = SURVEY ELEVATION 326.66'

RECTANGLE SIDE	<u>LENGTH</u>	1	MIDPOINT ELEVATION		TOTAL
NORTH	72.40'	X	318.50'	=	23,059.40
SOUTH	72.40'	X	325.00'	=	23,530.00
EAST	30.64'	Χ	326.33'	=	9,998.75
WEST	30.64'	Χ	320.00'	=	9,804.80

 TOTAL
 206.08'
 66,392.95

 AVERAGE MIDPOINT ELEVATION
 (66,392.95/206.08) = 322.17'

 AVERAGE GRADE REFERENCED TO 0'-0" DATUM
 (322.17-326.66) = -4' 6 15/16"

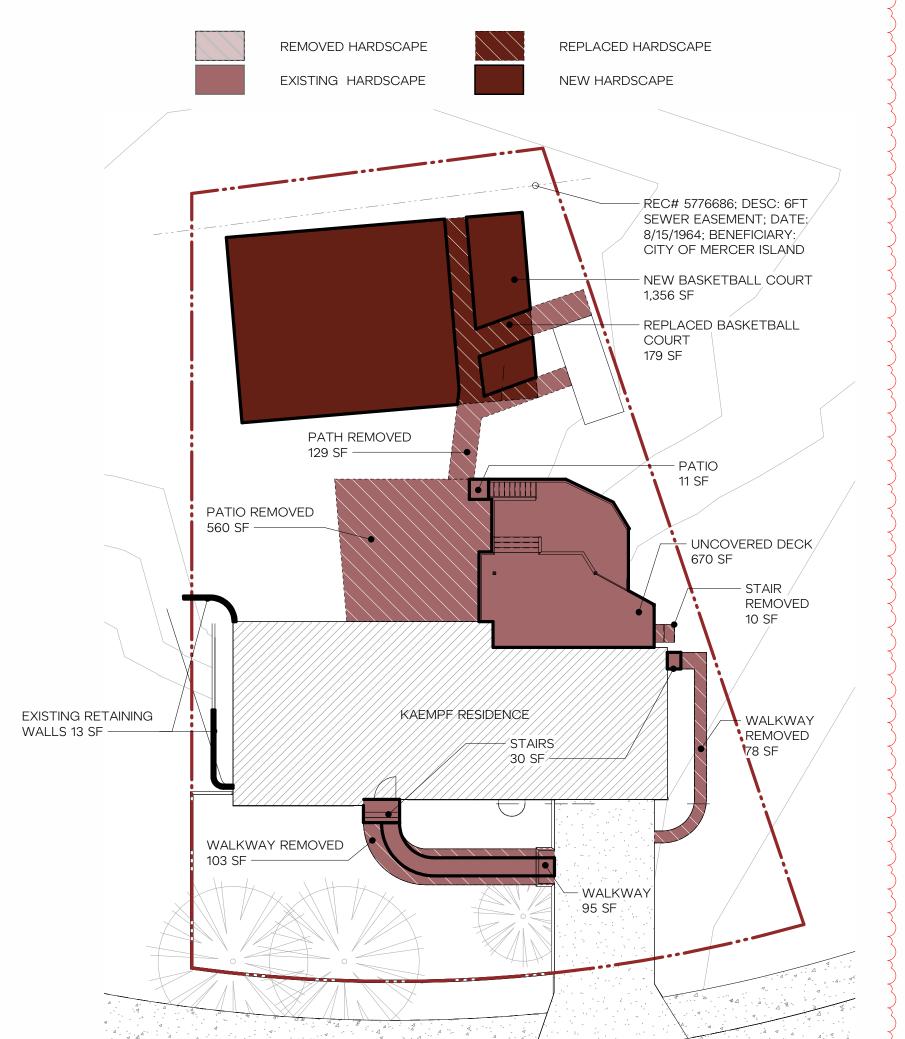
GRADE AVERAGE: 322' 2 1/16"

MAX WALL HEIGHT: 352' 2 1/16"

PROPOSED HEIGHT: 345' 9 9/16"

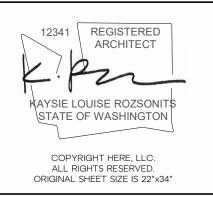
# HARDSCAPE CALCULATION

NET LOT AREA 9% OF LOT AREA (MAX COVERAGE) *UNUSED LOT COVERAGE TOTAL ALLOWED HARDSCAPE	= = = =	10,540 SF 948 SF 1,586 SF 2,534 SF	
EXISTING HARDSCAPE REMOVED + REMOVED TO REPLACE HARDSCAPE NEW + REPLACED HARDSCAPE	= = =	1,878 SF 1,059 SF 1,535 SF	
TOTAL HARDSCAPE SQUARE FOOTAGE	=	2,354 SF	
NET NEW IMPERVIOUS SURFACE	=	476 SF	





ARCHITECTURE • INTERIORS
1505 BROADWAY, SEATTLE, WA 98122
HELLO@HERE.DESIGN | 206.420.8310



ER ISLAND, WA 98040 EY KAEMPF

8238 SE 72ND ST JESSIC

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LAND DEVELOPMENT DIAGRAMS

A1.12

# GROSS FLOOR AREA & KEY

GROSS FLOOR AREA CALCU	JLA	TIONS PER MICC 19.02.010.D
ZONING	=	R-9.6

LOT SIZE = 10,899 SF FAR: ALLOWED (40% LOT) = **4,360 SF GROSS FLOOR AREA** (E) SHED = 116 SF = 1500 SF (E) BASEMENT = 1,473 SF (E) MAIN FLOOR

(E) GARAGE = 526 SF (N) SECOND FLOOR = 892 SF

BASEMENT MODIFIER = -750 SF (SEE CALCS TO RIGHT) STAIR MODIFIER = -92 SF TOTAL = 3,665 SF

MICC 19.02.010.D.1 GROSS FLOOR AREA: THE GROSS FLOOR AREA SHALL NOT EXCEED (R-9.6) 8,000 SQUARE FEET OR 40 PERCENT OF THE LOT AREA, WHICHEVER IS LESS.

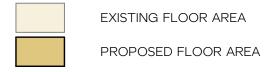
APPENDIX B - BASEMENT FLOOR AREA CALCULATION THE MERCER ISLAND DEVELOPMENT CODE EXCLUDES THAT PORTION OF THE BASEMENT FLOOR AREA FROM THE GROSS FLOOR AREA WHICH IS BELOW THE EXISTING GRADE.

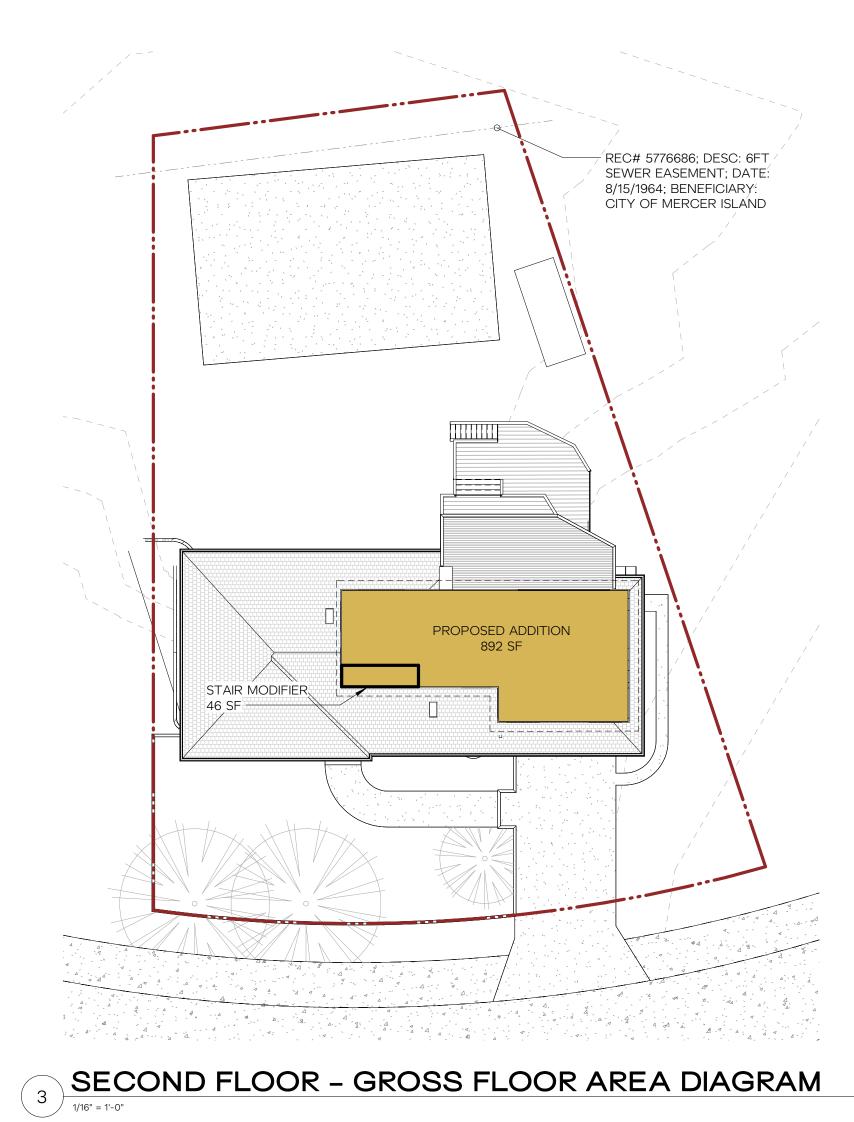
TABLE OF WALL LENGTHS AND COVERAGE

WALL SEGMENT	LENGTH X	COVERAGE	=	RESULT
A B C D E F G H	43' - 2 3/4" 7' - 10 1/2" 4' - 5" 25' - 2 1/2" 0' - 11 1/2" 29' - 5 3/4" 21' - 7 1/2" 30' - 7 1/4"	0% 16% 90% 90% 90% 90% 90% 22%		0' - 0" 1' - 3" 3' - 11" 22' - 8 1/4" 0' - 10" 26' - 6 1/4" 19' - 5 1/2" 6' - 8 3/4"
TOTAL	163' - 4 3/4"	-		81' - 4 3/4"

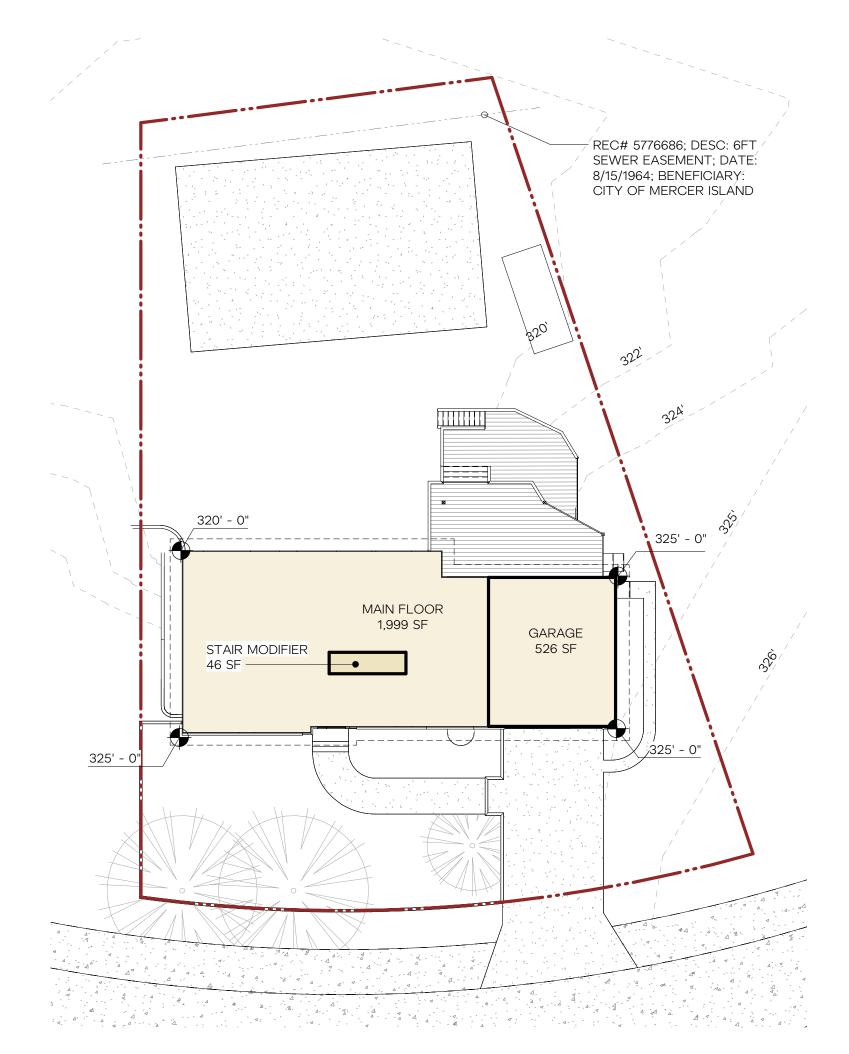
1,500 SF (TOTAL BASEMENT AREA) X 0.50 (81.40 WALL SEGMENT COVERAGE / 163.40 WALL SEGMENT LENGTH) =

1,500 SF X 50% = 750 SF EXLCUDED FROM GROSS FLOOR AREA



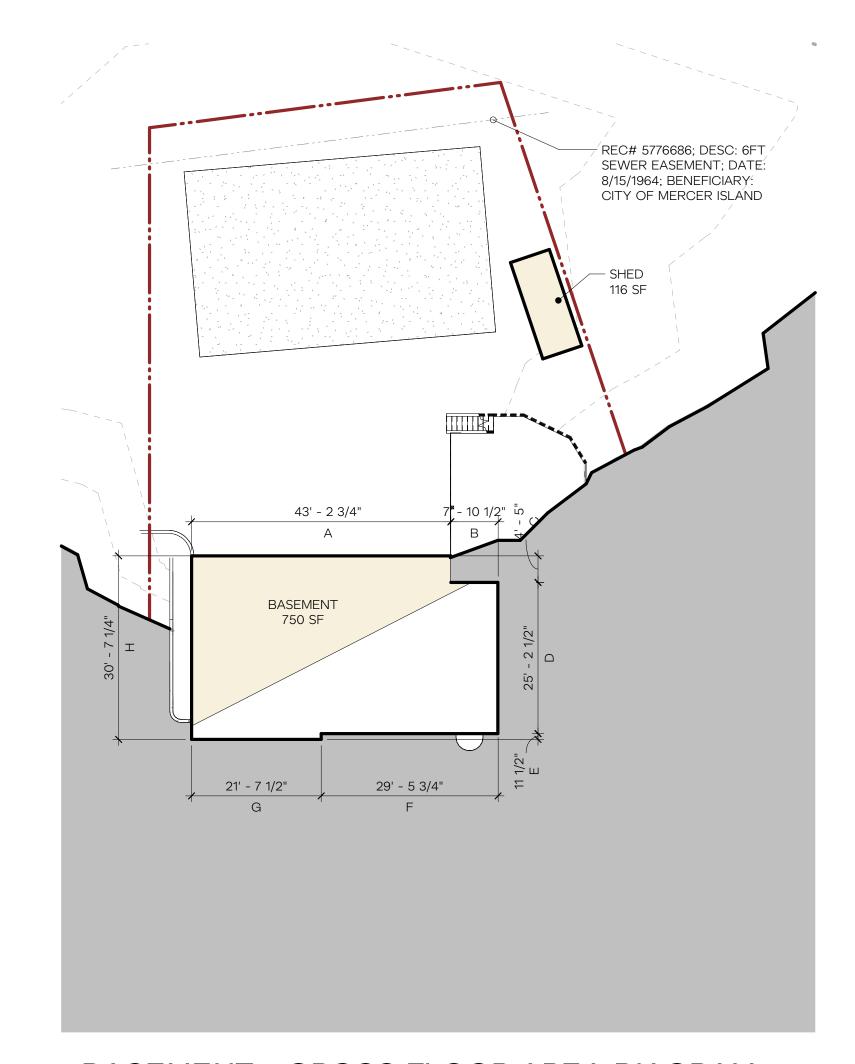




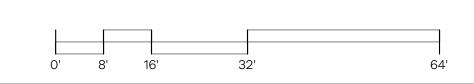


MAIN FLOOR – GROSS FLOOR AREA DIAGRAM

1/16" = 1'-0"



BASEMENT - GROSS FLOOR AREA DIAGRAM





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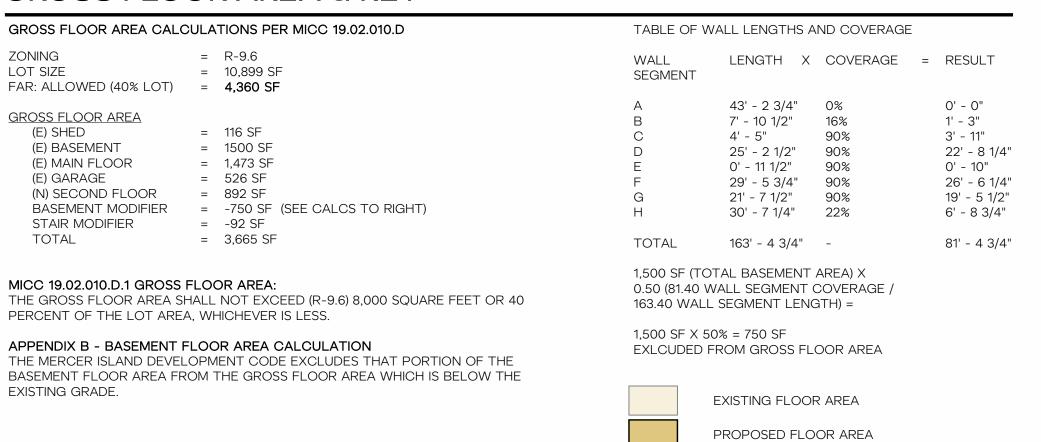
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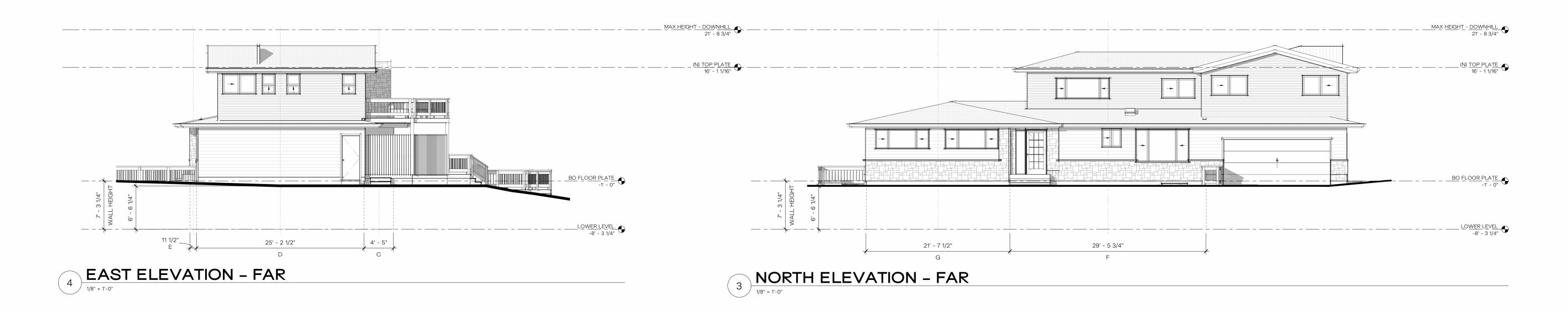
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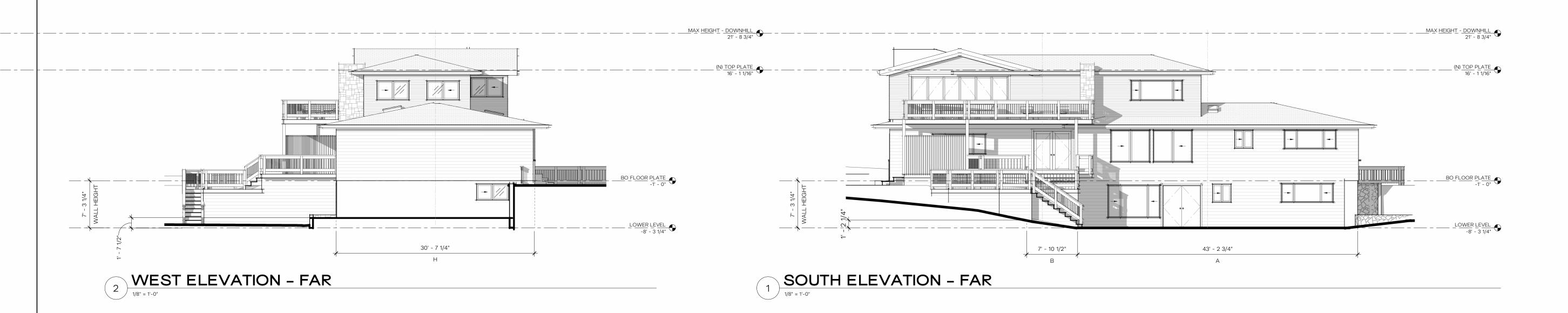
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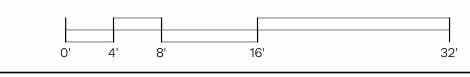
GROSS FLOOR AREA -

# GROSS FLOOR AREA & KEY













KAEMPF RESIDENCE
8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

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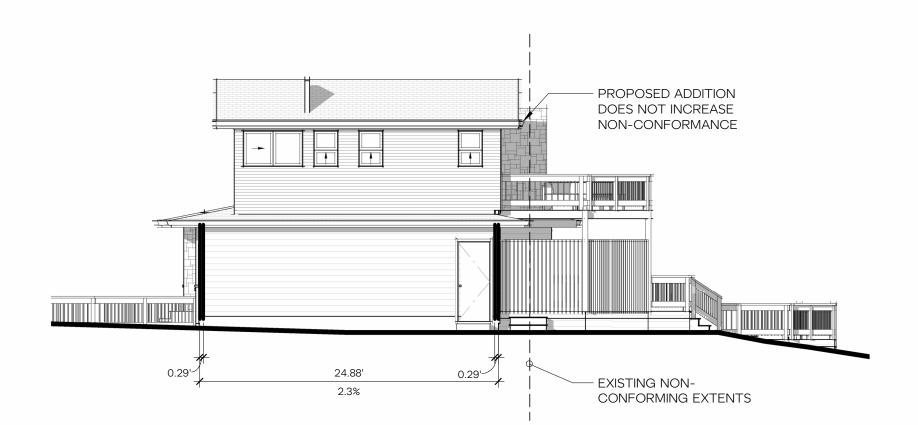
GROSS FLOOR AREA - ELEVATIONS

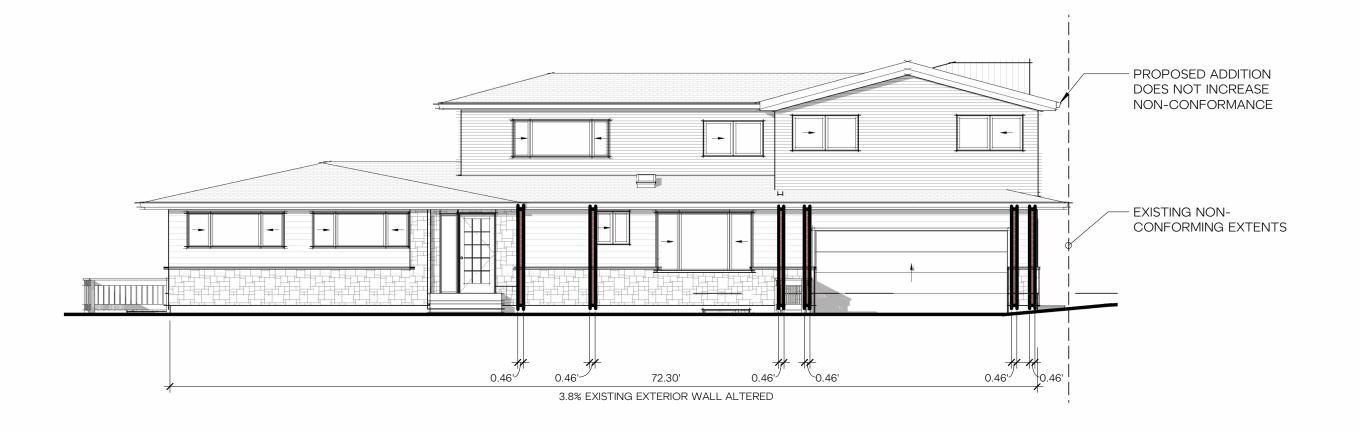
# NON-CONFORMING STRUCTURE

LENGTH OF EXISTING EXTERIOR WALLS

SOUTH WALL LENGTH 72.29 FT WEST WALL LENGTH 30.52 FT NORTH WALL LENGTH 72.30 FT EAST WALL LENGTH 24.88 FT TOTAL WALL LENGTH 199.98 FT 40% OF EXISTING EXTERIOR WALLS (MAX STRUCTURAL ALTERATION) 80 FT SOUTH WALL STRUCTURAL ALTERATIONS 0 FT WEST WALL STRUCTURAL ALTERATIONS NORTH WALL STRUCTURAL ALTERATIONS = 2.76 FT EAST WALL STRUCTURAL ALTERATIONS 0.58 FT TOTAL STRUCTURAL ALTERATION 5.93 FT

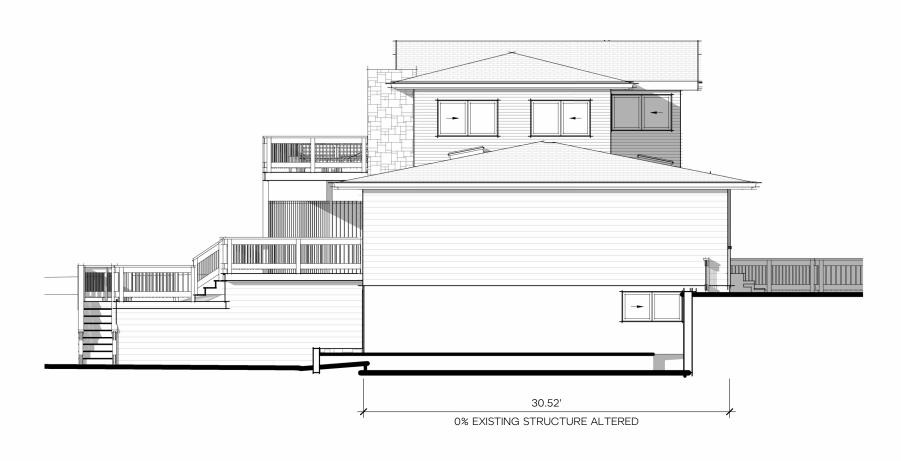
NEW STRUCTURAL ELEMENTS





# EAST ELEVATION - NON-CONFORMING STRUCTURE

# NORTH ELEVATION - NON-CONFORMING STRUCTURE 1/8" = 1'-0"

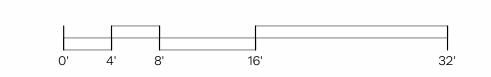




WEST ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"

SOUTH ELEVATION - NON-CONFORMING STRUCTURE







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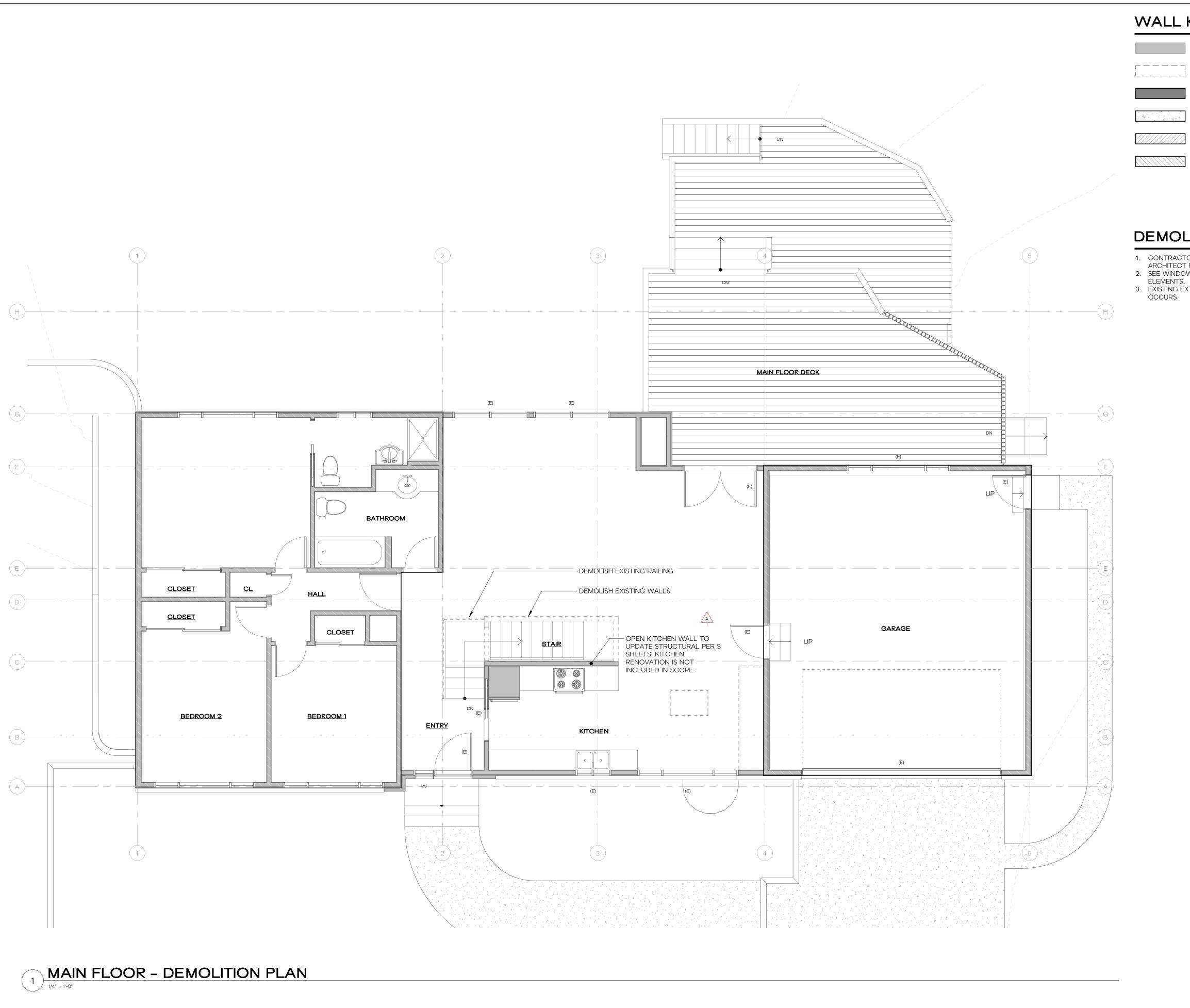
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DIAGRAMS - NON-CONFORMING STRUCTURE

A1.15



# **WALL KEY**

# WINDOW / DOOR

SALVAGED

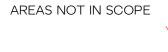
(R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

(E) EXISTING DOOR OR WINDOW TO **EXISTING** (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED (S) EXISTING DOOR OR WINDOW TO BE

**NEW WALL** 

NEW CONC WALL

ROOF CUT



# **DEMOLITION NOTES**

- CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
- 2. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED
- 3. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK



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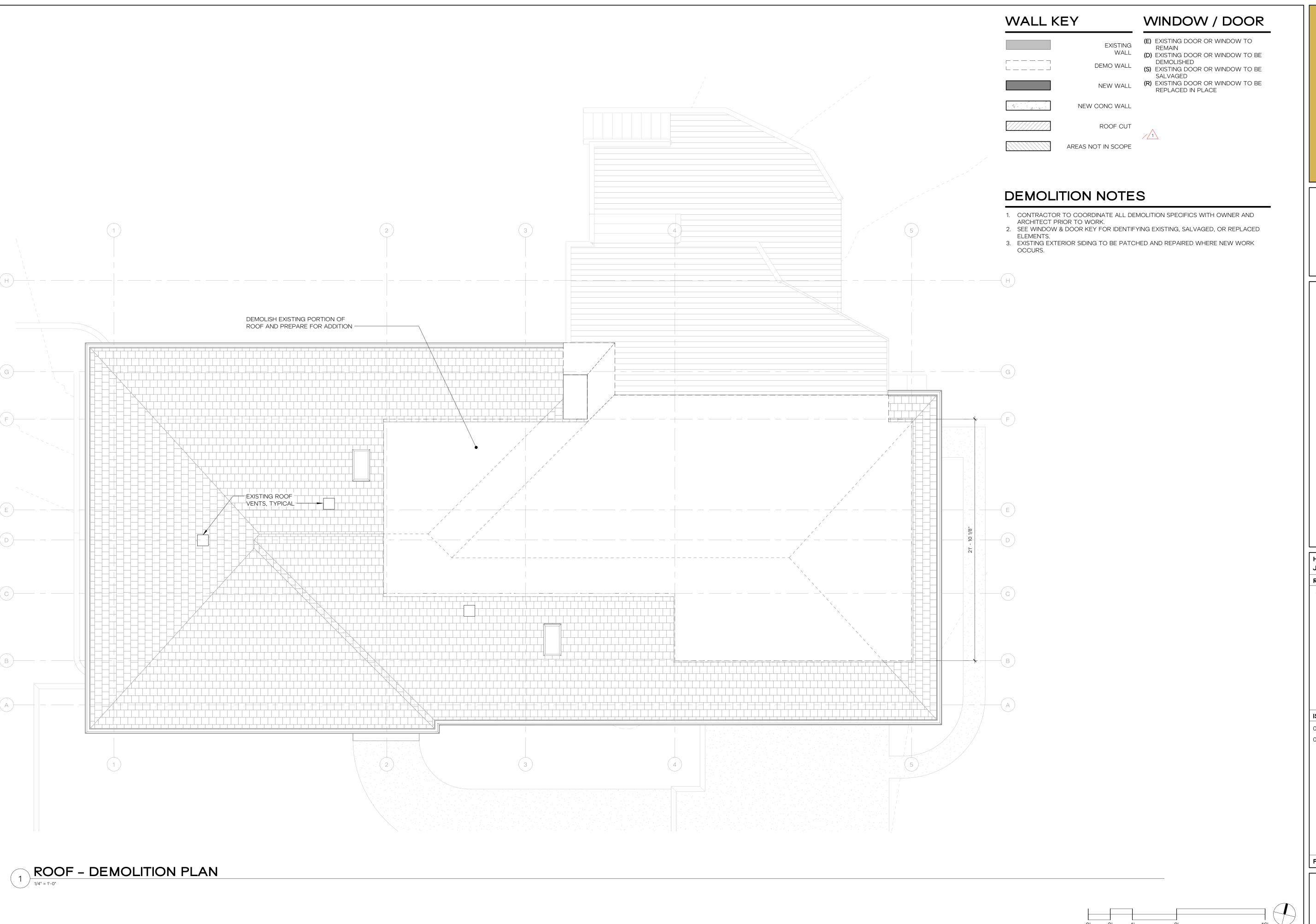
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DEMOLITION FIRST FLOOR PLANS







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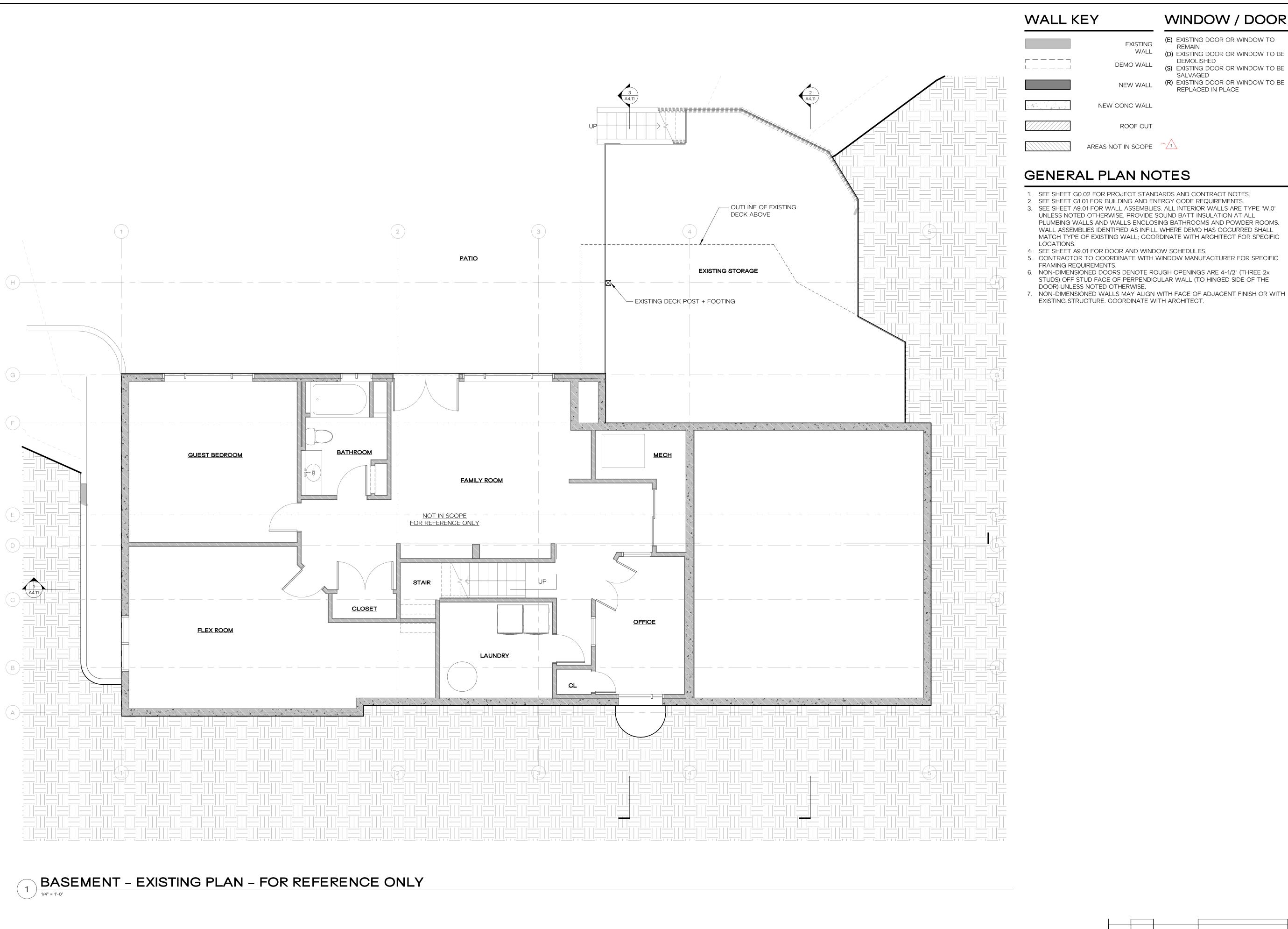
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DEMOLITION RC

A2.12



# **WALL KEY**

# WINDOW / DOOR

(E) EXISTING DOOR OR WINDOW TO **EXISTING** (D) EXISTING DOOR OR WINDOW TO BE

DEMOLISHED (S) EXISTING DOOR OR WINDOW TO BE

SALVAGED (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

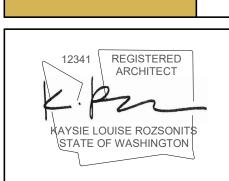
NEW WALL NEW CONC WALL

ROOF CUT

AREAS NOT IN SCOPE 1

# GENERAL PLAN NOTES

- 1. SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
- 2. SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS. 3. SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL
- PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
- 4. SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES.
- 5. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
- 6. NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.



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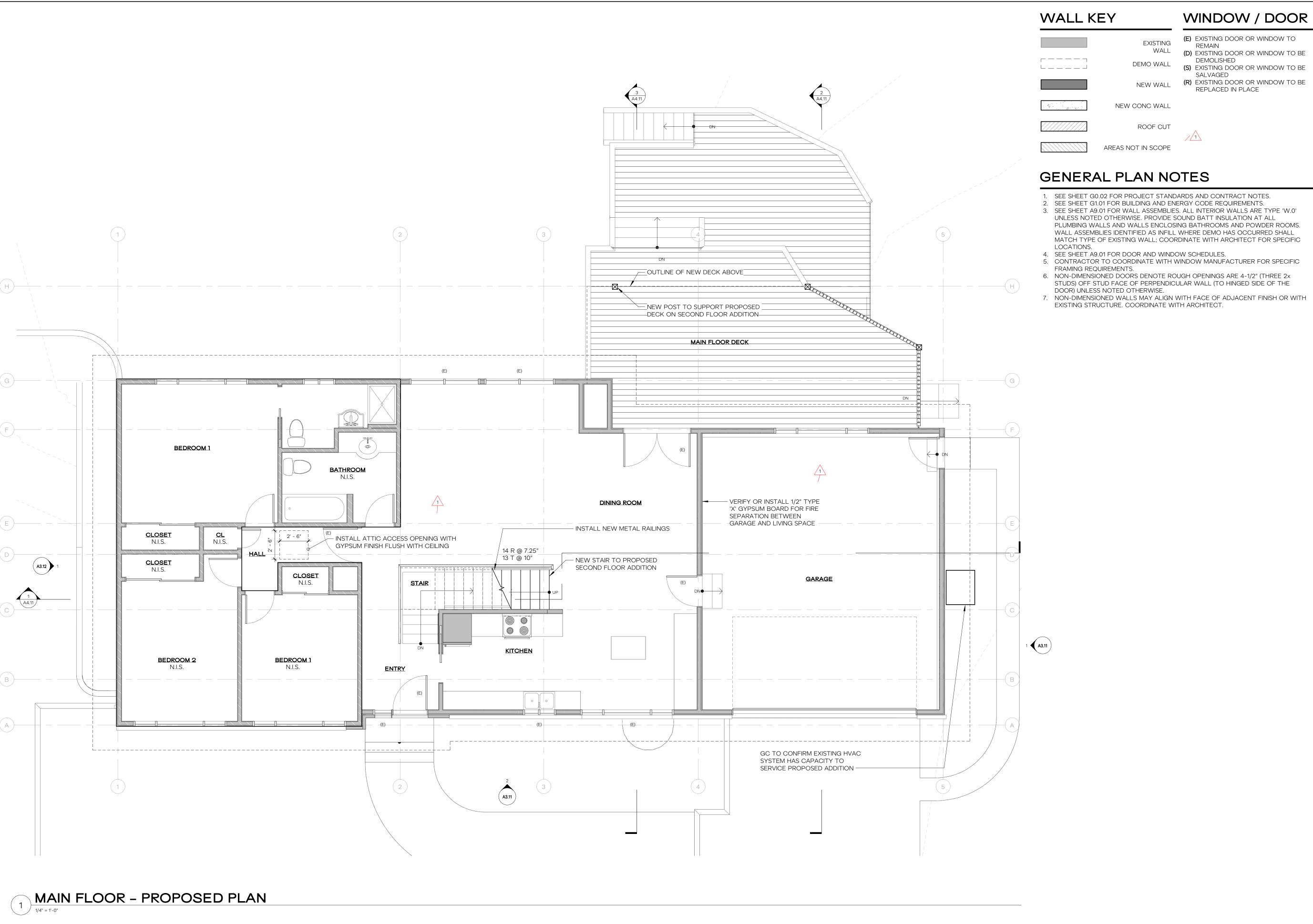
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PROPOSED BASEMENT FLOOR PLAN





(S) EXISTING DOOR OR WINDOW TO BE

MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC

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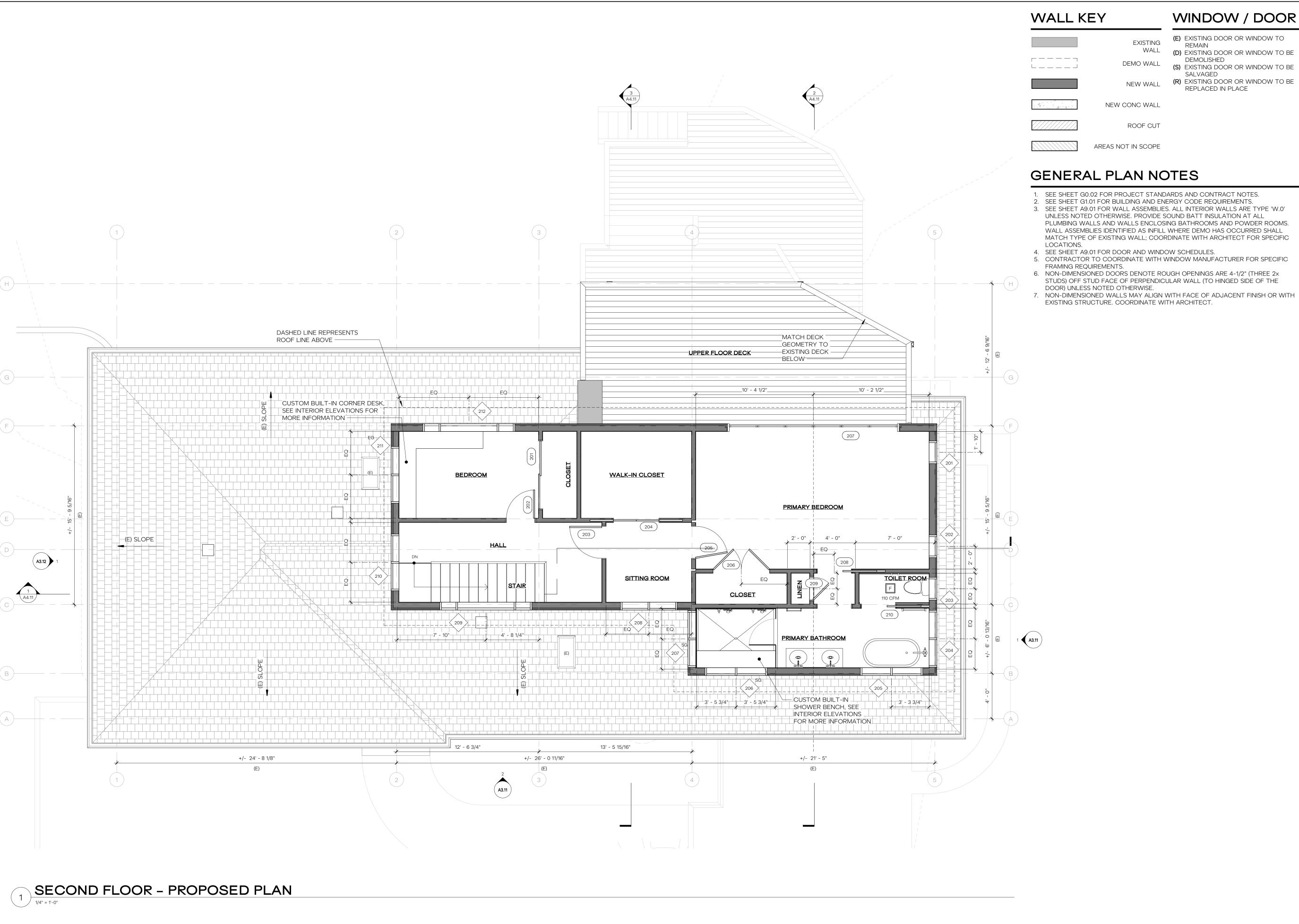
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FLOOR PLAN





- PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC

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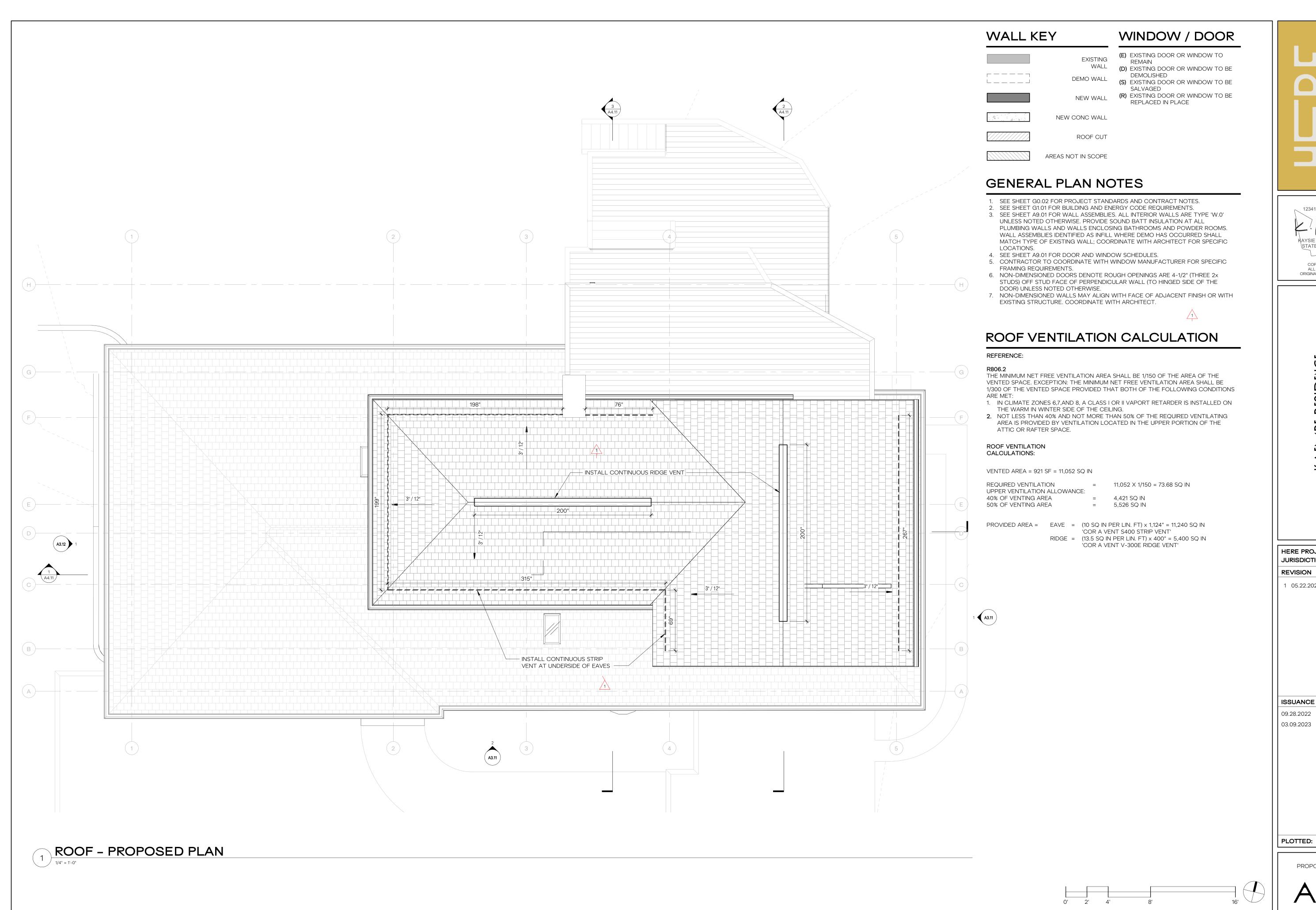
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PROPOSED SECOND FLOOR PLAN



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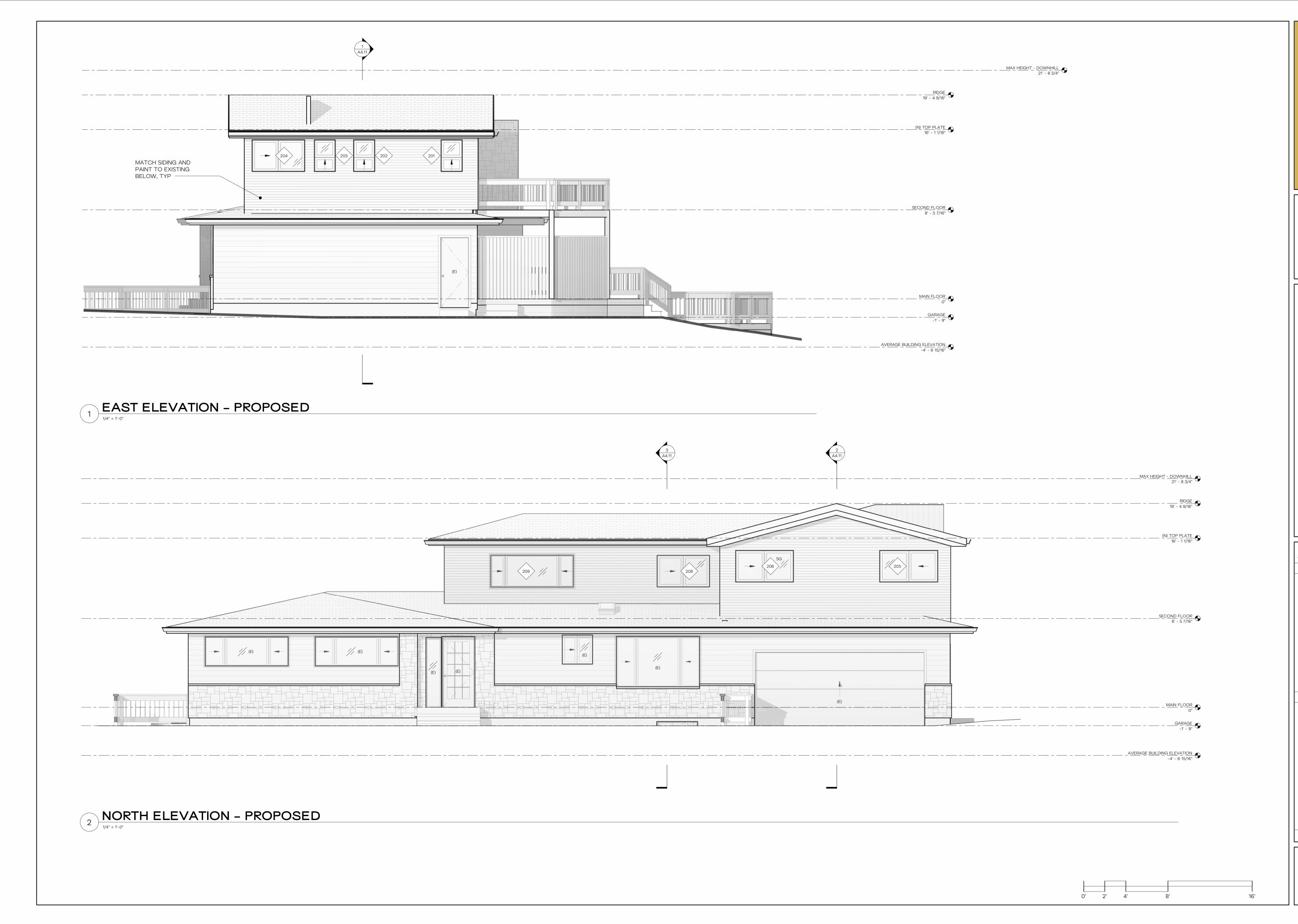
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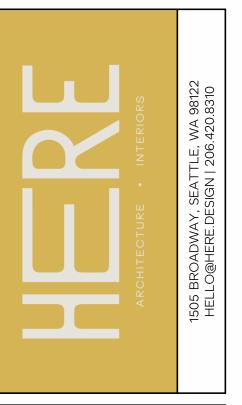
1 05.22.2023 REVIEW RESPONSES

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PROPOSED ROOF PLAN





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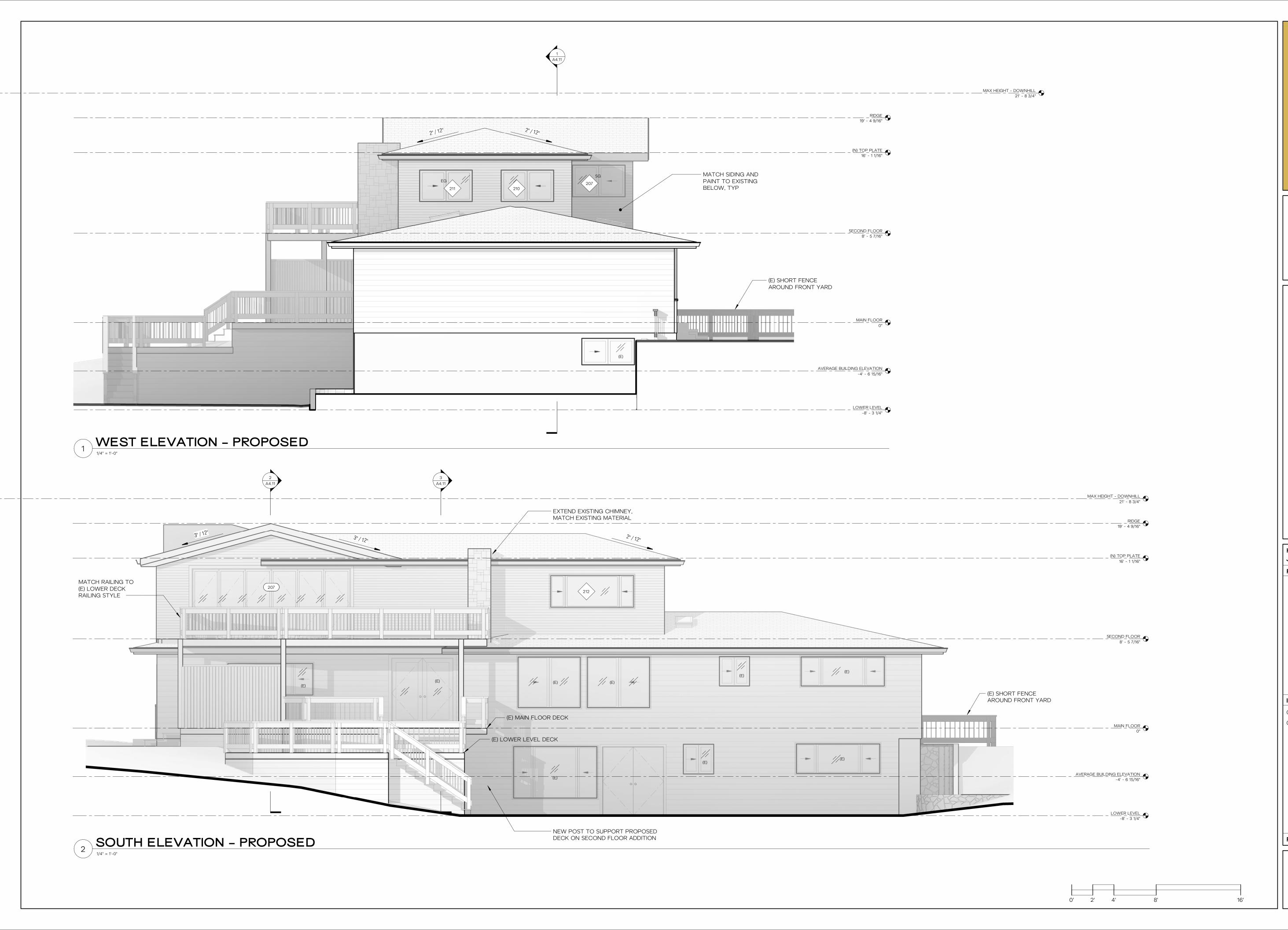
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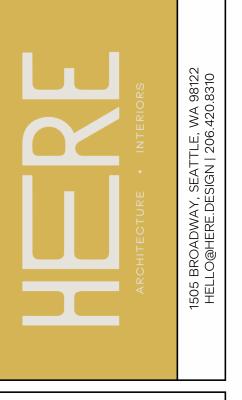
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PROPOSED EXTERIOR ELEVATIONS

A3.11





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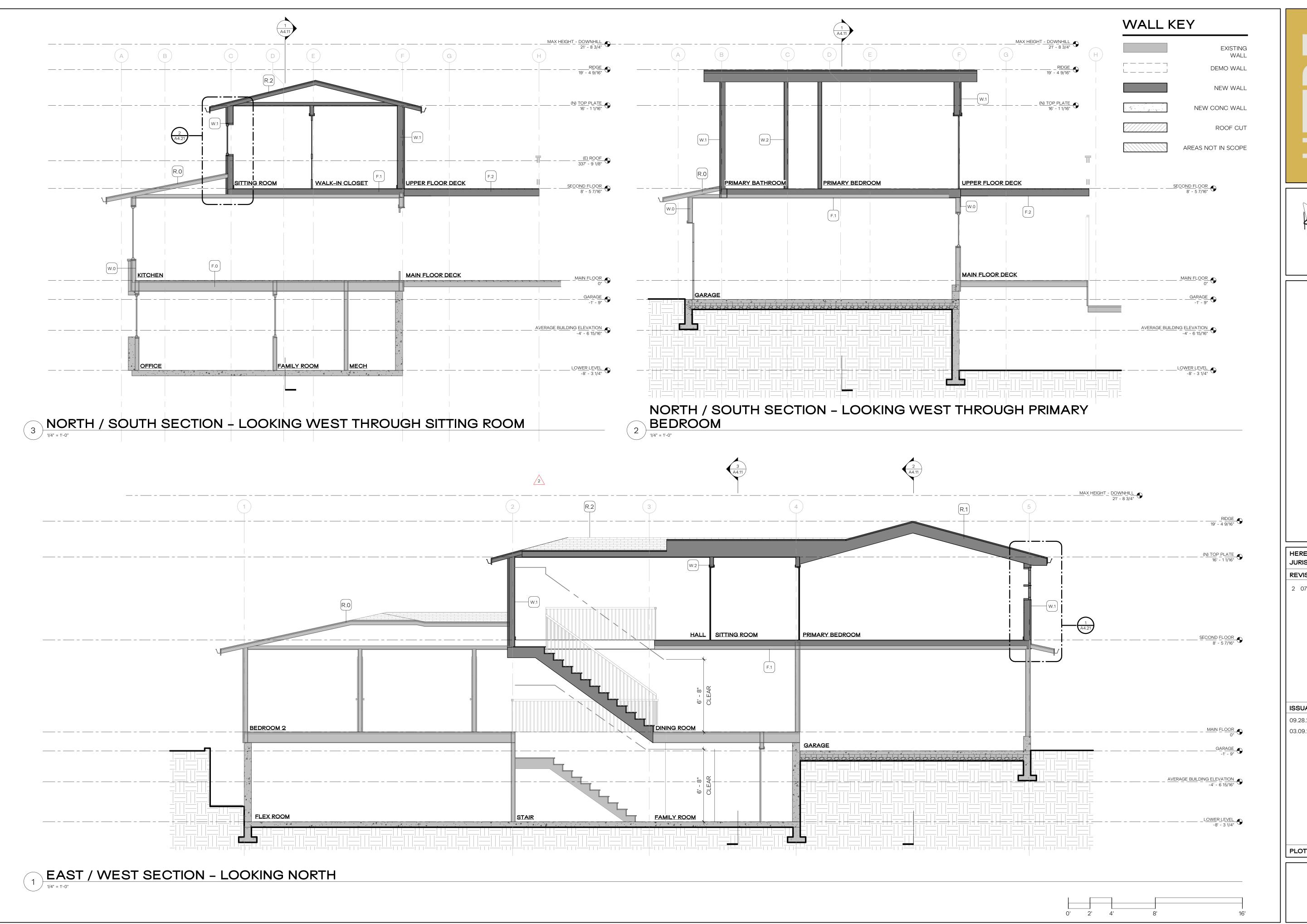
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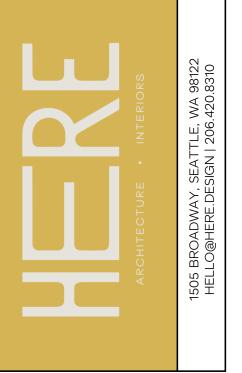
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PROPOSED EXTERIOR ELEVATIONS

A312





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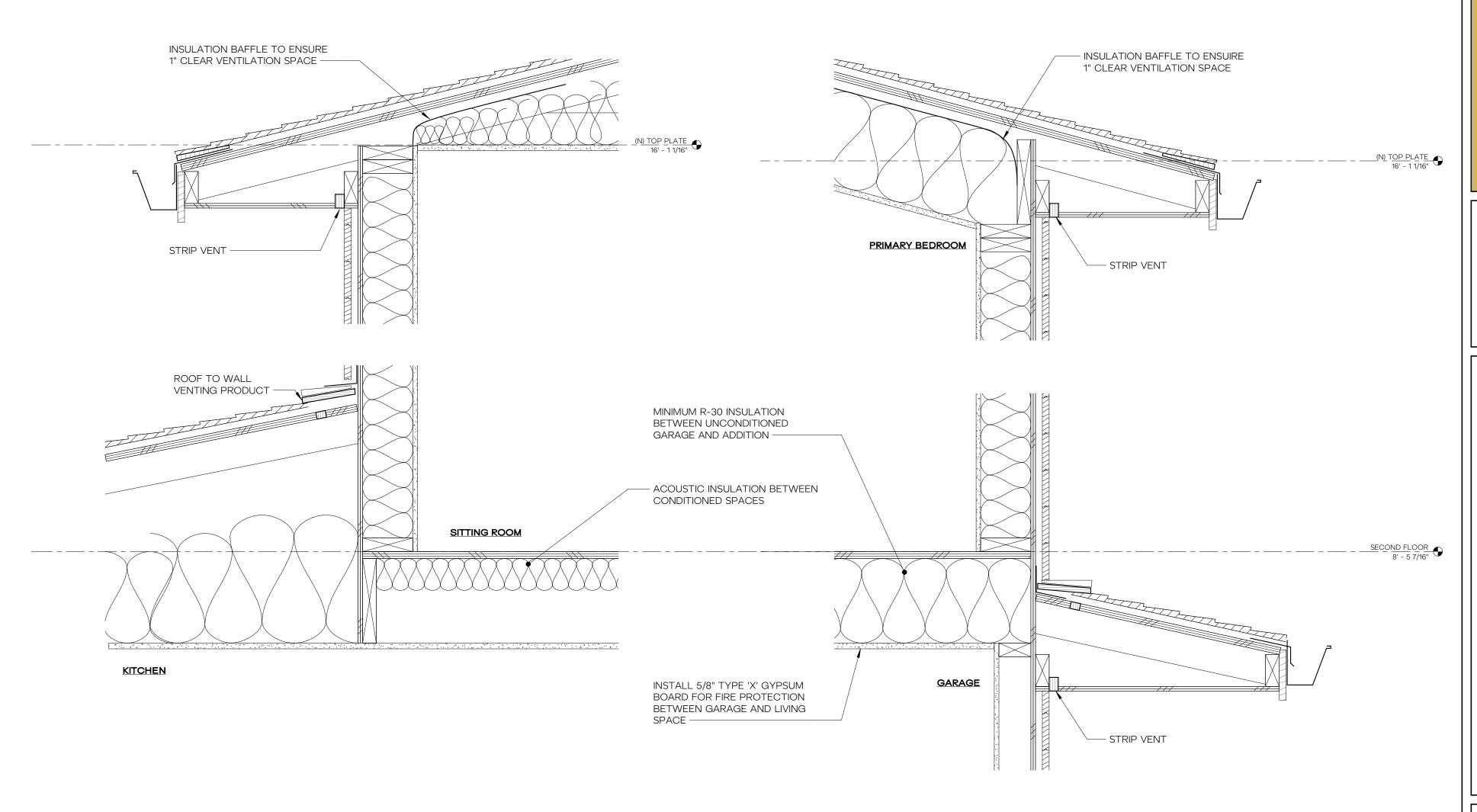
2 07.14.2023 REVIEW RESPONSES

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A4.11



WALL AT EXISTING ROOF TO NEW ADDITION

1 1/2" = 1'-0"

1 WALL AT GARAGE AND NEW SECOND FLOOR

ARCHITECTURE · INTERIORS
1505 BROADWAY, SEATTLE, WA 98122
HELLO@HERE.DESIGN | 206.420.8310

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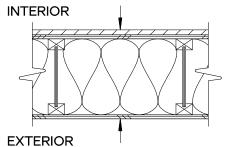
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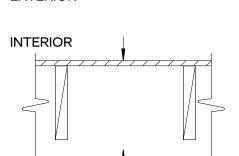
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PROPOSED WALL SECTIONS

A4.21

# FLOOR ASSEMBLIES





LOCATION

PRIMARY BEDROOM

PRIMARY BEDROOM

**TOILET ROOM** 

PRIMARY BATHROOM

PRIMARY BATHROOM

PRIMARY BATHROOM

PRIMARY BATHROOM

SITTING ROOM

HALL

HALL

BEDROOM

BEDROOM

LOCATION

**BEDROOM** 

**BEDROOM** 

SITTING ROOM

WALK-IN CLOSET

PRIMARY BEDROOM

PRIMARY BEDROOM

PRIMARY BEDROOM

PRIMARY BEDROOM

**TOILET ROOM** 

**EXTERIOR** 

201

202

203

204

205

206

207

208

209

210

211

212

MARK

201

202

203

204

205

206

207

208

#### F.1 - NEW INSULATED FLOOR

- FINISH PER SPECIFICATION PLYWOOD SUBFLOOR PER
- STRUCTURAL
- JOISTS PER STRUCTURAL R-30 BATT INSULATION

HEIGHT

6 SF

6 SF

6 SF

15 SF

17 SF

17 SF

15 SF

15 SF

27 SF

15 SF

15 SF

27 SF

DOOR

SIZE

THICKNES

1 3/8"

1 3/8"

1 3/8"

1 3/8"

1 3/8"

1 3/8"

1 3/8"

1 1/2"

A9.0 - DOOR SCHEDULE

82 SF

3' - 0"

3' - 0"

3' - 0"

3' - 0"

3' - 0"

3' - 0"

3' - 0"

3' - 0"

3' - 3 1/2"

3' - 0"

3' - 0"

HEIGHT

6' - 8"

6' - 8"

6' - 8"

6' - 8"

6' - 8"

6' - 8"

6' - 8"

6' - 8"

6' - 8" 1 1/2"

PLYWOOD SOFFIT

WIDTH

2' - 0"

2' - 0"

2' - 0"

5' - 0"

5' - 6"

5' - 6"

5' - 0"

5' - 0"

8' - 1 1/2"

5' - 0"

5' - 0"

WIDTH

6' - 0"

2' - 6"

2' - 10"

4' - 0"

2' - 10"

5' - 0"

15' - 0"

3' - 0"

3' - 0"

8' - 1 1/2" 3' - 3 1/2"

#### INTERIOR F.2 - DECK FLOOR DECKING INSTALLED WITH 1/8" SPACES INTERIOR BETWEEN BOARDS JOISTS PER STRUCTURAL

WINDOW SCHEDULE

6' - 8"

6' - 8"

6' - 8"

6' - 8"

3' - 10 7/8"

3' - 10 7/8"

3' - 10 7/8"

6' - 0"

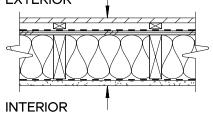
6' - 3 1/2"

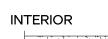
6' - 0"

6' - 0"

6' - 3 1/2"

#### **EXTERIOR**



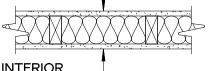


GLAZING AREA | Head Height | EXTERIOR | EGRESS | SAFETY GLAZING | U FACTOR

•

GLAZING AREA EXTERIOR U FACTOR

0.28



# WALL ASSEMBLIES

#### W.1 - EXTERIOR WALL SIDING PER ELEVATIONS 1X FURRING

 2x6 FRAMING R-21 INSULATION PER

TYPE III WRB PER SPECIFICATIONS

**SPECIFICATIONS**  AIR & TYPE III VAPOR BARRIER PER **SPECIFICATIONS** 

GYPSUM WALL BOARD

0.00

0.00

0.00

0.00

0.00

0.00

0.00

0.00

0.00

0.00

0.00

0.00

NOTES

PEL-N-242-02470-00001

PLYWOOD SHEATHING

#### W.2 - NEW INTERIOR WALL

- FINISH PER SPECIFICATIONS GYPSUM WALL BOARD
- 2x4 FRAMING, UNO ACOUSTIC INSULATION PER PLANS

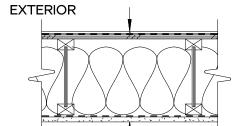
NOTES

- GYPSUM WALL BOARD
- FINISH PER SPECIFICATIONS

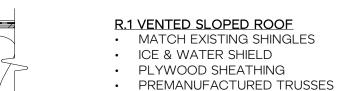
# **ROOF ASSEMBLIES**

1" VENTILATION GAP

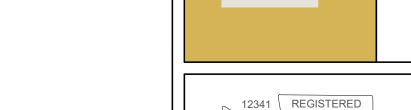
**INSULATION PER G1.01** 



# INTERIOR



#### TYPE II VAPOR BARRIER GYPSUM CEILING BOARD INTERIOR FINISH





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(CONSULT WITH ARCHITECT AS NECESSARY). 5. SEE PROJECT SPECIFICATIONS FOR WINDOW MANUFACTURER AND OTHER INFORMATION.

2. WINDOW SCHEDULE INDICATES WINDOW FRAME SIZES. VERIFY WITH ARCHITECT ALL

3. PROVIDE WINDOW SUBMITTALS TO ARCHITECT PRIOR TO ORDERING WINDOWS.

ADJUST ROUGH OPENING HEIGHTS OR CUT DOWN DOORS AS NECESSARY

4. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS &

TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS INDICATED OTHERWISE.

6. CONTRACTOR TO ORDER EGRESS WINDOWS WITH PROPER EGRESS HARDWARE WHERE REQUIRED TO MEET CODE REQUIREMENTS.

7. CONTRACTOR TO VERIFY ALL EGRESS WINDOWS ORDERED MEET CURRENT CODE EGRESS REQUIREMENTS.

8. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

# DOOR

1. DOOR SCHEDULE INDICATES DOOR PANEL SIZE.

WINDOW HEAD HEIGHTS MEASURED FROM TOP SHEATHING.

WINDOW SIZES BEFORE FRAMING OPENINGS.

- 3. ALL OPERATIONS NOTED ON FLOOR PLANS AND/OR ELEVATIONS. IF A DOOR KEY IS PROVIDED, IT IS FOR CONVENIENCE AND MAY NOT INDICATE ALL THE NECESSARY
- 4. CONTRACTOR TO CONFIRM ACTUAL DOOR SIZES AND ROUGH OPENING SIZES FOR
- TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS NOTED OTHERWISE.
- 9. ALL EXTERIOR DOORS AND DOORS TO UNHEATED SPACES SHALL BE FULLY
- WEATHERSTRIPPED.

**WINDOW** 

- 2. VERIFY WITH ARCHITECT ALL DOOR SIZES BEFORE FRAMING OPENINGS.
- OPTIONS OF A DOOR.
- ALL DOORS.
- 5. PROVIDE DOOR SUBMITTALS TO ARCHITECT PRIOR TO ORDERING DOORS. 6. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS &
- 7. ALL GLAZING IN NEW DOORS TO BE APPROVED SAFETY-GLAZING. CONTRACTOR IS TO VERIFY THAT ALL DOORS REQUIRING SAFETY GLAZING ARE MANUFACTURED AND INSTALLED WITH THE CORRECT GLAZING.
- 8. SEE PROJECT SPECIFICATIONS FOR DOOR MANUFACTURER AND OTHER INFORMATION.
- 10. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

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ASSEMBLIES // SCHEDULES

#### General Structural Notes

#### THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

# DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION).

**CRITERIA** 

#### 2. DESIGN LOADING CRITERIA

•	
	RESIDENTIAL - ONE AND TWO-FAMILY DWELLINGS FLOOR LIVE LOAD
	ROOF LIVE LOAD
	DEFLECTION CRITERIA LIVE LOAD DEFLECTION

#### ENVIRONMENTAL LOADS

SNOW . . . . . . Ce=1.0, Is=1.0, Ct=1.0, Cs=1.0, Pg=25 PSF, Pf=25 PSF WIND . . . GCpi=0.18, 110 MPH, RISK CATEGORY II, EXPOSURE "B", KZT=1.30 EARTHQUAKE . . . ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS, Vs=17.9 KIPS SITE CLASS=D, Ss=147, Sds=117, S1=51, SD1=57, Cs=0.180 SDC D (DEFAULT), Ie=1.0, R=6.5

#### SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS. THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- 4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.
- 9. ALL STRUCTURAL SYSTEMS, WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

#### **QUALITY ASSURANCE**

10. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT. STRUCTURAL ENGINEER. AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER EPOXY GROUTED INSTALLATIONS PER MANUFACTURER

PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS. CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.

- 11. UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705. 12 OF THE INTERNATIONAL BUILDING CODE.
- A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR FIELD GLUING, NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE, RESISTING SYSTEM INCLUDING SHEAR WALLS, DIAPHRAGMS, DRAG STRUTS, BRACES AND HOLDOWNS.

#### **GEOTECHNICAL**

- ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE 12. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.
  - FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.
  - BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

ALLOWABLE SOIL PRESSURE	. 1500	) PSF
LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) 55	PCF/35	PCF
ALLOWABLE PASSIVE EARTH PRESSURE (FS OF 1.5 INCLUDED)	. 350	) PCF
COEFFICIENT OF FRICTION (FS OF 1.5 INCLUDED)		0.45
SEISMIC SURCHARGE PRESSURE (UNIFORM LOAD)	. 8H	l PSF

#### **RENOVATION**

- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- 13. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.
- 15. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

#### **CONCRETE**

- 16. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 28. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2.500
- 17. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.
- 18. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60. FY = 60,000 PSI.
- ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR 19. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315R-18 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

20. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED 

- 21. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND
- 22. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM)

### **ANCHORAGE**

- 23. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.
- 24. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-XP" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2508. MINIMUM BASE MATERIAL TEMPERATURE IS 50 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

DRAWINGS SHALL BE INSTALLED USING "AT-XP" AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IAMPO REPORT NO. ER-0281. MINIMUM BASE MATERIAL TEMPERATURE IS 14 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

26. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

#### WOOD

27. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WWPA STANDARD, WESTERN LUMBER GRADING RULES 2017. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLA	TES & MISC. FRAMING:	DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2

- ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv =265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS, WITH SPANS OVER 30', TO 3,500' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.
- 29. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E WS)	Fb = 2900 PSI,	E = 2000  KSI,	Fv = 290 PSI
LVL (2.0E-2600FB WS)	Fb = 2600 PSI,	E = 2000  KSI,	Fv = 285 PSI
LSL (1.55E)	Fb = 2325 PSI,	E = 1550  KSI,	Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

- FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). . 1-1/2" 30. PREFABRICATED PLYWOOD WEB JOISTS SHALL BE DESIGNED BY THE MANUFACTURER FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS AND SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS. ALL NECESSARY BRIDGING, BLOCKING, BLOCKING PANELS, STIFFENERS, ETC., SHALL DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER, STATE OF WASHINGTON. PERMANENT AND TEMPORARY BRIDGING SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS
  - THE DESIGN SHOWN ON THE PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION, IN ACCORDANCE WITH ICC-ES REPORT ESR-1157. ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS. OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES

25. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE 31. PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE 37. WOOD FASTENERS MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL

TOP CHORD LIVE LOAD TOP CHORD DEAD LOAD	25 PSF 10 PSF
BOTTOM CHORD DEAD LOAD	5 PSF
TOTAL LOAD	40 PSF
TOTAL LOAD	40 (3)
WIND UPLIFT (TOP CHORD)	5 PSF
BOTTOM CHORD LIVE LOAD	10 PSF
(BOTTOM CHORD LIVE LOAD DOES NO	OT ACT
CONCURRENTLY WITH THE ROOF LIVE	E LOAD)

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANGNAIL OR EQUAL). SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

- 32. PLYWOOD SHEATHING SHALL BE GRADE C-D. EXTERIOR GLUE OR STRUCTURAL II EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD 38. NOTCHES AND HOLES IN WOOD FRAMING: OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.
- ROOF SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 32/16.
- FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- 33. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- 34. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.
- 35. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE

<u>-</u>	WOOD IREAIMENT	CONDITION	PROTECTION
)	HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
_	CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR
3			CONTINUOUS HOT-GALVANIZED
			PER ASTM A653
	CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
-	CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
)	AZCA	ANY	TYPE 304 OR 316 STAINLESS

WAAR TREATMENT

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

BE DETAILED AND FURNISHED BY THE MANUFACTURER. SUBMIT SHOP DRAWINGS AND 36. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

> ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

> WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

> ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS MEMBERS CONNECTED.

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETE
6d	2"	0. 113"
8d	2-1/2"	0. 131"
10d	3"	0. 148"
12d	3-1/4"	0. 148"
16d B0X	3-1/2"	0. 135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE

DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

- A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.
- B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.
- C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE
- 39. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS. AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD

WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER. MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.



Seattle, WA 98121 TACOMA 934 Broadway, Suite 100 Tacoma, WA 98402 **CENTRAL WASHINGTO** 414 N Pearl Street, Suite 8 206 443 6212 ssfengineers.com Ellensburg, WA 98926 Copyright 2022 Swenson Say Fagét - All Rights Reserve

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APPROVED:	RJA	


PROJECT TITLE: Kaempf Residence

8238 SE 72nd St

Mercer Island, WA 98040

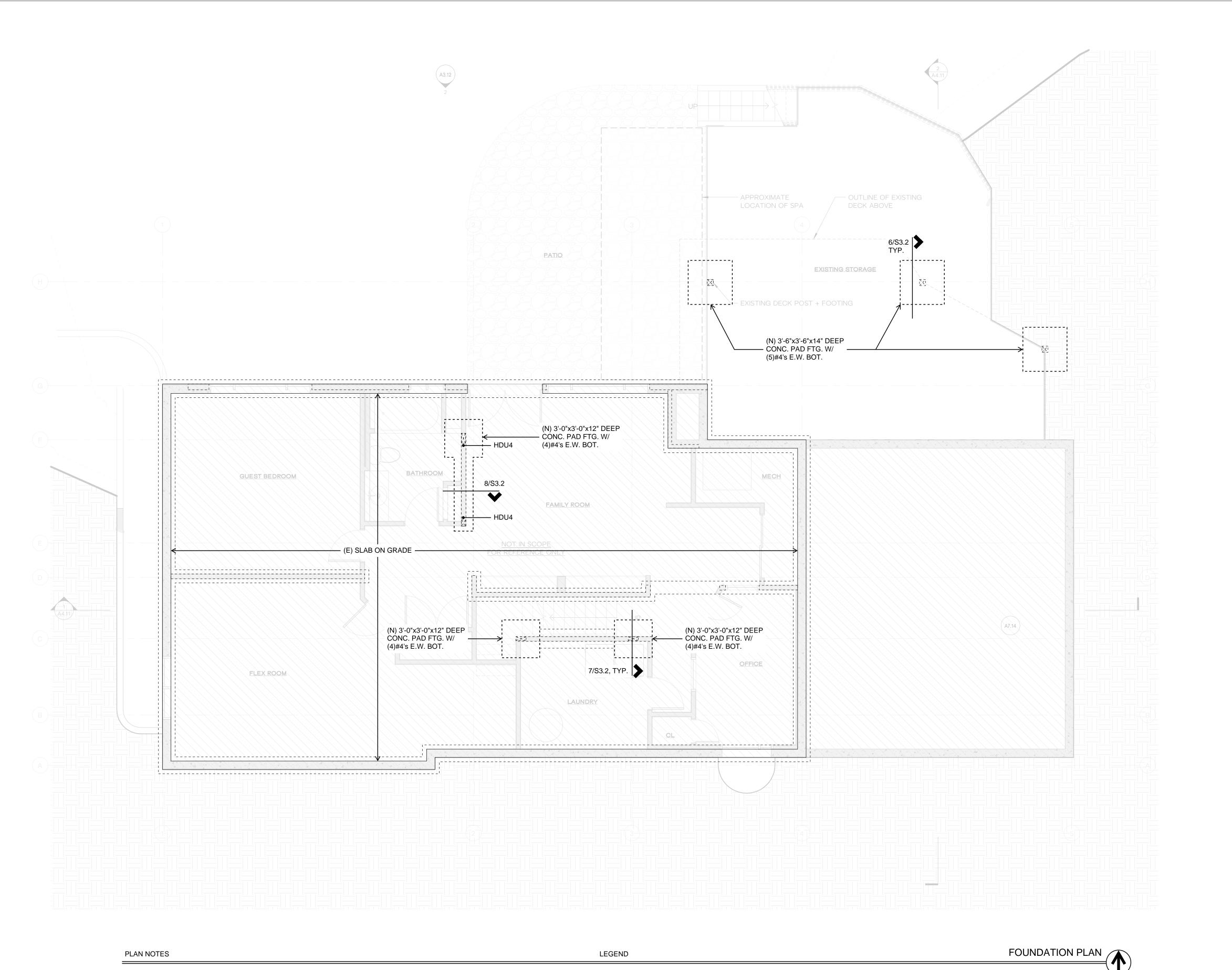
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General Structural Notes

DATE:

February 22, 2023 PROJECT NO: 13021-2022-03 SHEET NO:



STRUCTURAL WALL OR POST ABOVE

• HDUx HOLDOWN PER 3/S4.1

NEW STEM WALL AND FOOTING

EXISTING STEM WALL AND FOOTING

DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
 ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.

4. VERIFY EXISTING CONTINUOUS CONCRETE FOOTING AROUND THE PERIMETER OF THE EXISTING

5. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

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2124 Third Avenue, Suite 100
Seattle, WA 98121

TACOMA
934 Broadway, Suite 100
Tacoma, WA 98402

CENTRAL WASHINGTON
414 N Pearl Street, Suite 8
Ellensburg, WA 98926

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Mercer Island, WA 98040

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PH 425.830.2360
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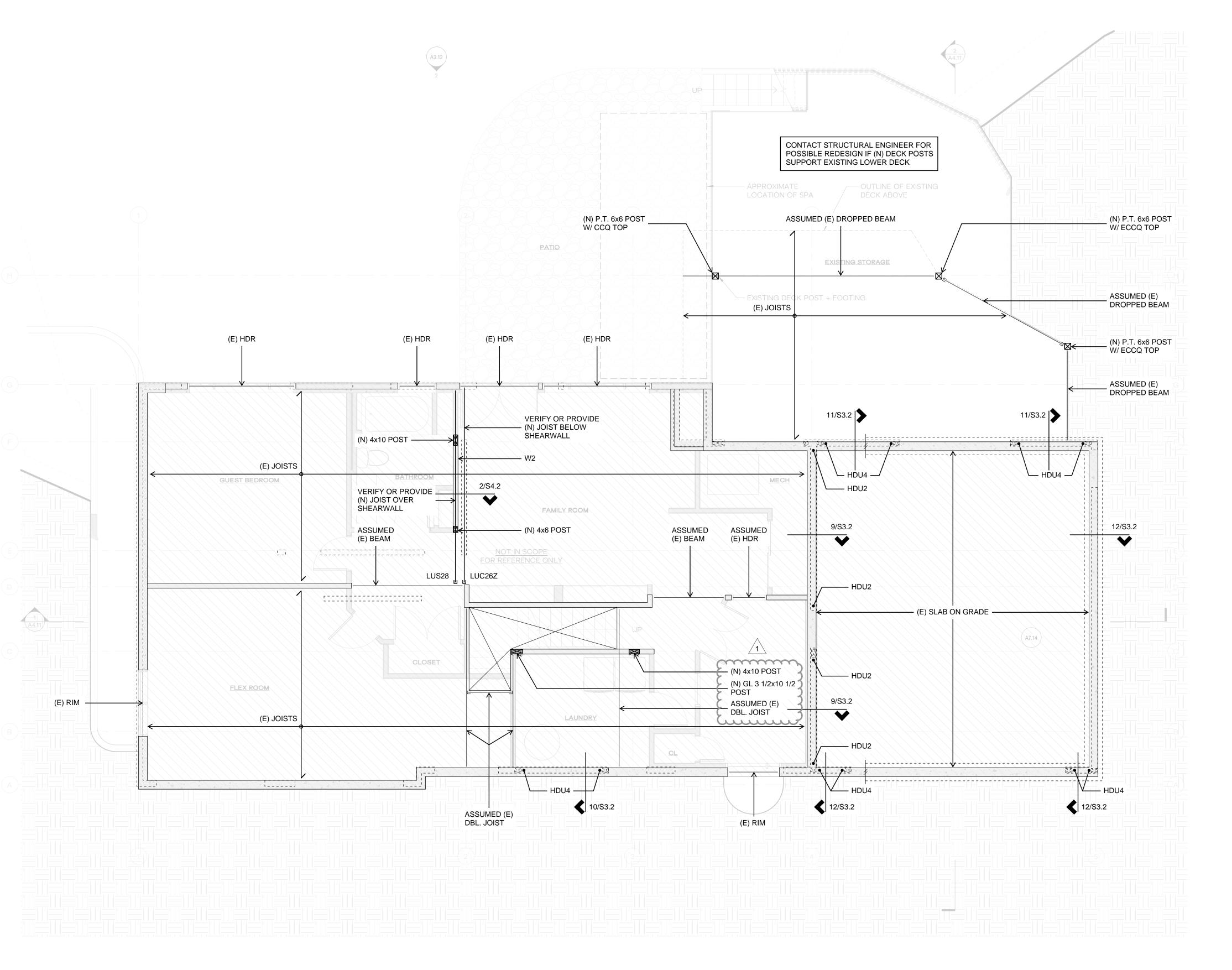
**Foundation Plan** 

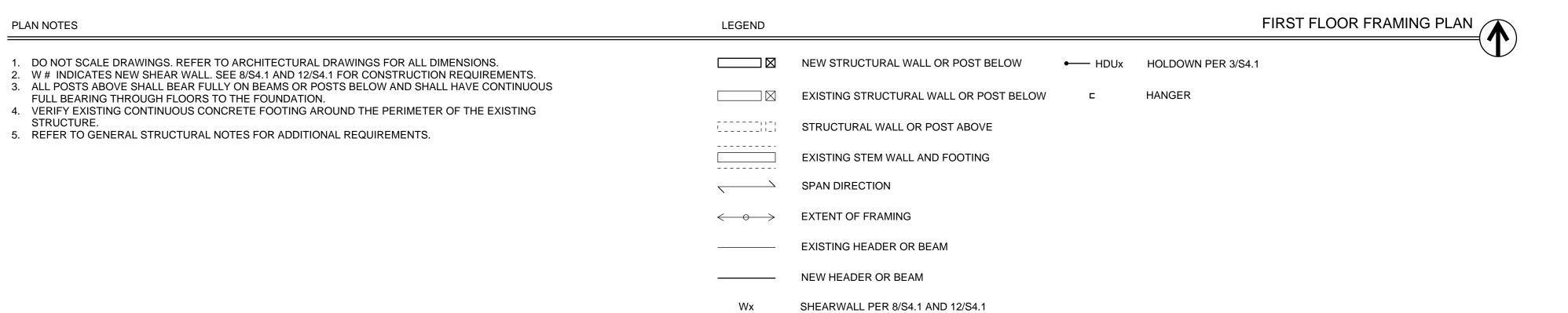
SCALE: 1/4" = 1'-0" U.N.O.

DATE: February 22, 2023
PROJECT NO:

SHEET NO:

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SEATTLE

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Seattle, WA 98121

TACOMA
934 Broadway, Suite 100
Tacoma, WA 98402

CENTRAL WASHINGTON
414 N Pearl Street, Suite 8
Ellensburg, WA 98926

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Permit Corrections August 8, 2023

PROJECT TITLE:

Kaempf Residence 8238 SE 72nd St

Mercer Island, WA 98040

ARCHITECT:

HERE architecture + interiors

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Seattle, WA 98106
PH 425.830.2360
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First Floor Framing Plan

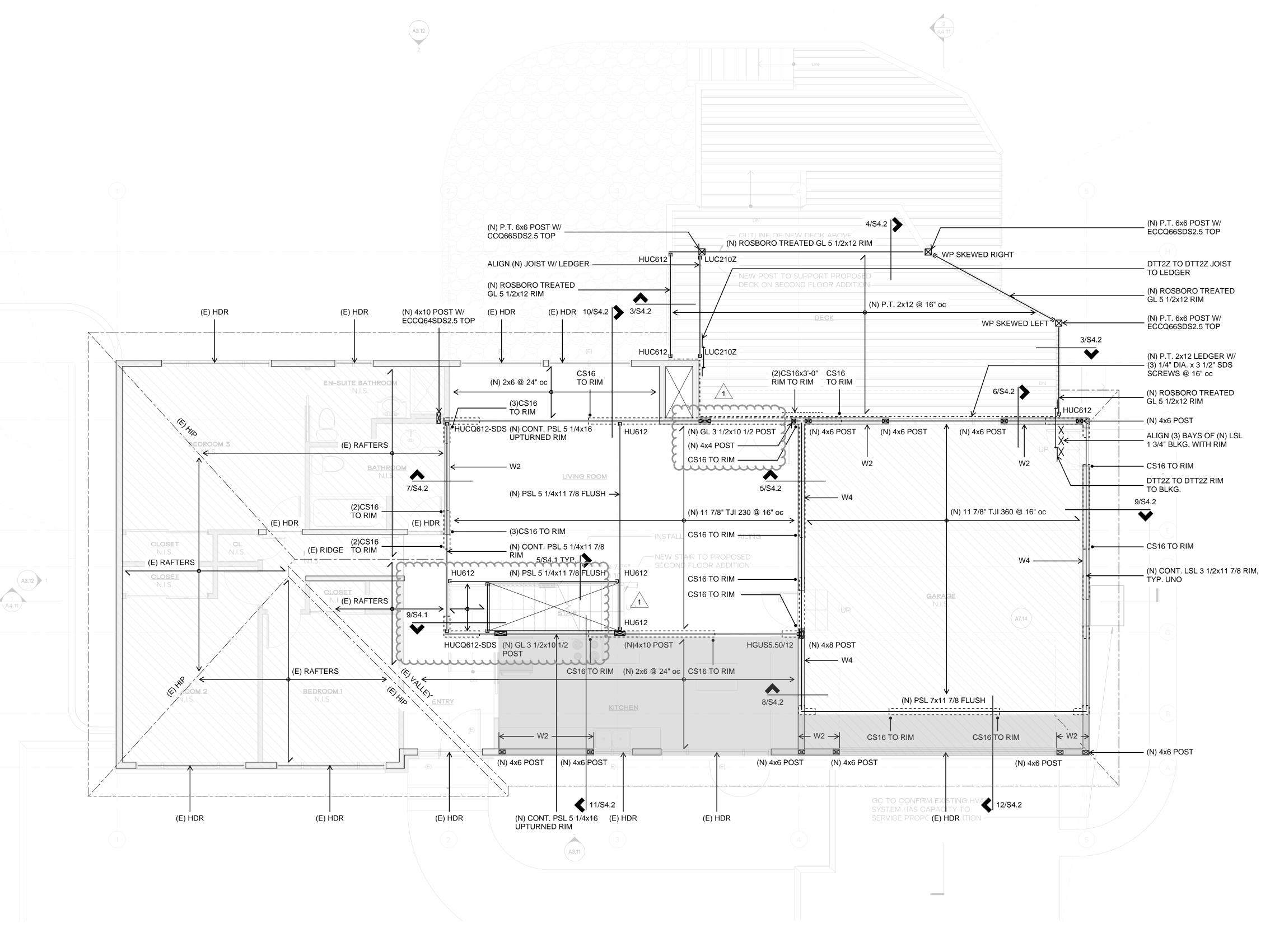
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DATE:
February 22, 2023

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13021-2022-03

SHEET NO:

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SECOND FLOOR AND LOW ROOF FRAMING PLAN LEGEND PLAN NOTES 1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS. ■■■ NEW STRUCTURAL WALL OR POST BELOW CSxx HOLDOWN STRAP PER 4/S4.1 2. NEW FLOOR SHEATHING SHALL BE 3/4" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24), FACE GRAIN PERPENDICULAR TO FLOOR FRAMING. NAIL AT ALL FRAMED PANEL EDGES WITH 8D AT EXISTING STRUCTURAL WALL OR POST BELOW HANGER 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C. 3. NEW FLOOR JOISTS SHALL BE 11 7/8" TJI 230 AT 16" O.C UNLESS NOTED OTHERWISE ON PLANS. 4. PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BLOCKED FLOOR SHEATHING: PROVIDE STRUCTURAL WALL OR POST ABOVE BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP. 2x4 FLAT BLOCKING AT ALL UNFRAMED 5. W # INDICATES NEW SHEAR WALL. SEE 8/S4.1 AND 12/S4.1 FOR CONSTRUCTION REQUIREMENTS. PANEL EDGES. NAIL AT ALL FRAMED SPAN DIRECTION 6. MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE PANEL EDGES WITH 8D AT 4" O.C. AND TO CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION ALL INTERMEDIATE FRAMING AT 12" O.C. TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. ← → EXTENT OF FRAMING 7. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION. 8. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS. EXISTING HEADER OR BEAM NEW HEADER OR BEAM SHEARWALL PER 8/S4.1 AND 12/S4.1

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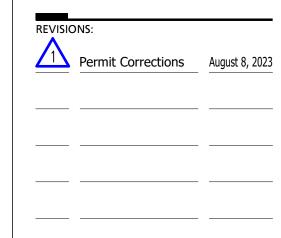
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Tacoma, WA 98402

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Ellensburg, WA 98926

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PROJECT TITLE:

Kaempf Residence

8238 SE 72nd St Mercer Island, WA 98040

ARCHITECT:
HERE architecture + interiors
9221 11th Ave SW
Seattle, WA 98106

ISSUE:

PH 425.830.2360 www.here.design

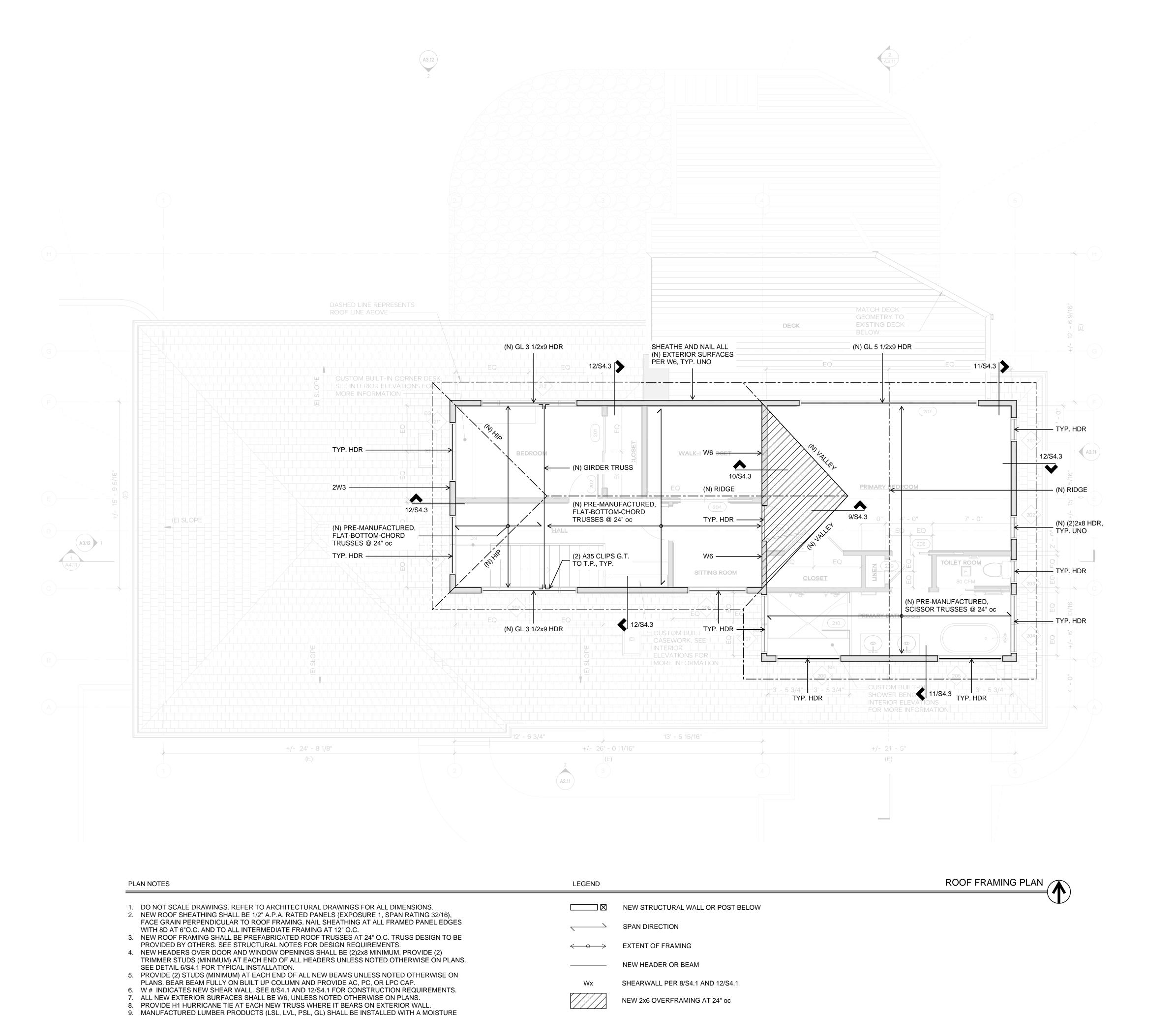
Permit Second Floor

Second Floor & Low Roof Framing Plan

SCALE: 1/4" = 1'-0" U.N.O. DATE: February 22, 2023

PROJECT NO: 13021-2022-03
SHEET NO:

523



CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION

TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.

10. SPLICE ALL NEW TOP PLATE SPLICES PER DETAIL 10/S4.1.11. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

STRUCTURAL ENGINEERING

2124 Third Avenue, Suite 100
Seattle, WA 98121

TACOMA
934 Broadway, Suite 100
Tacoma, WA 98402

CENTRAL WASHINGTON
414 N Pearl Street, Suite 8
Ellensburg, WA 98926

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DESIGN:

JDT

CHECKED:

JDT

APPROVED:

REVISIONS:

PROJECT TITLE:

Mercer Island, WA 98040

Kaempf Residence
8238 SE 72nd St

HERE architecture + interiors
9221 11th Ave SW
Seattle, WA 98106
PH 425.830.2360

UE:

www.here.design

Permit

SHEET TITLE:

Roof Framing Plan

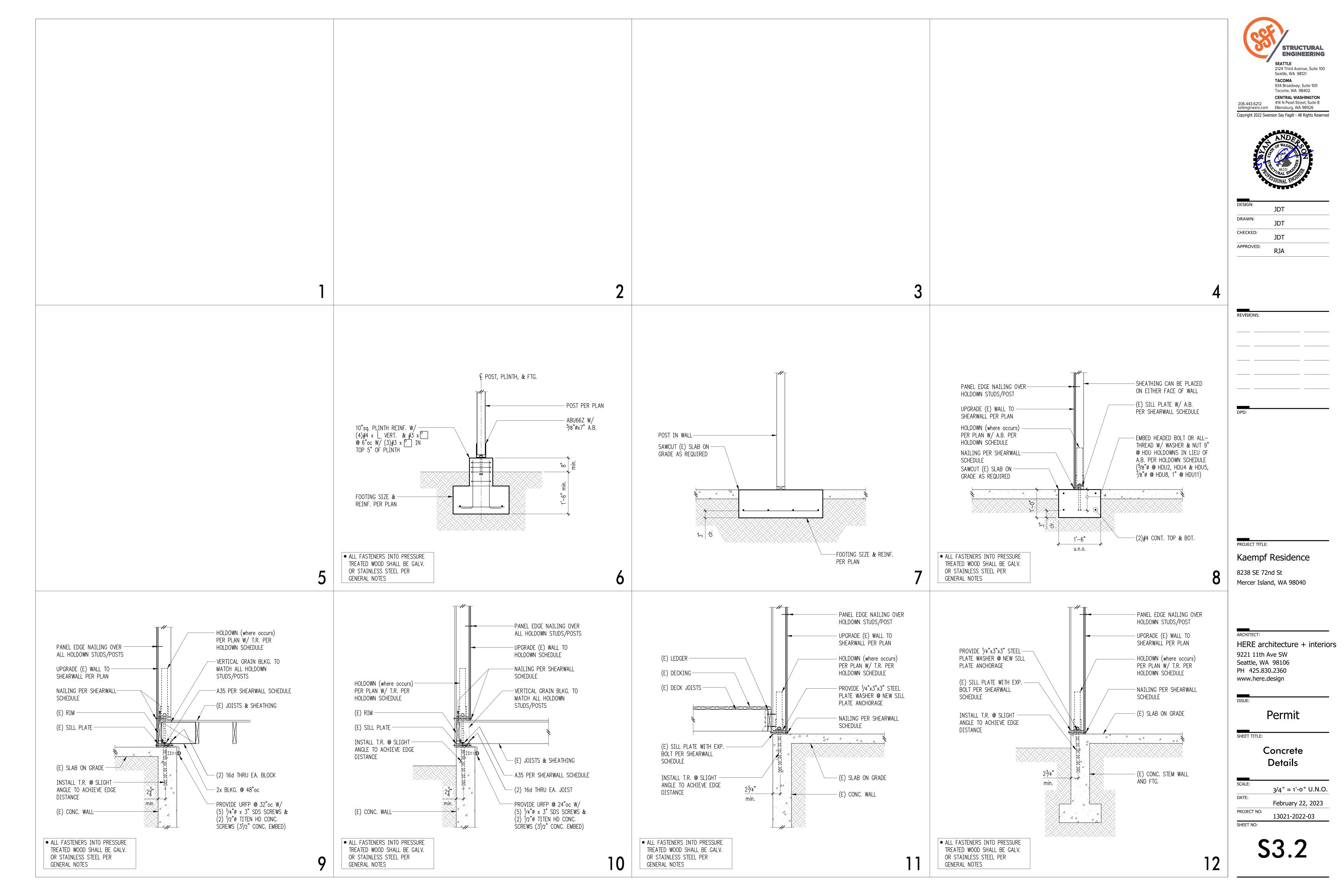
CALE:

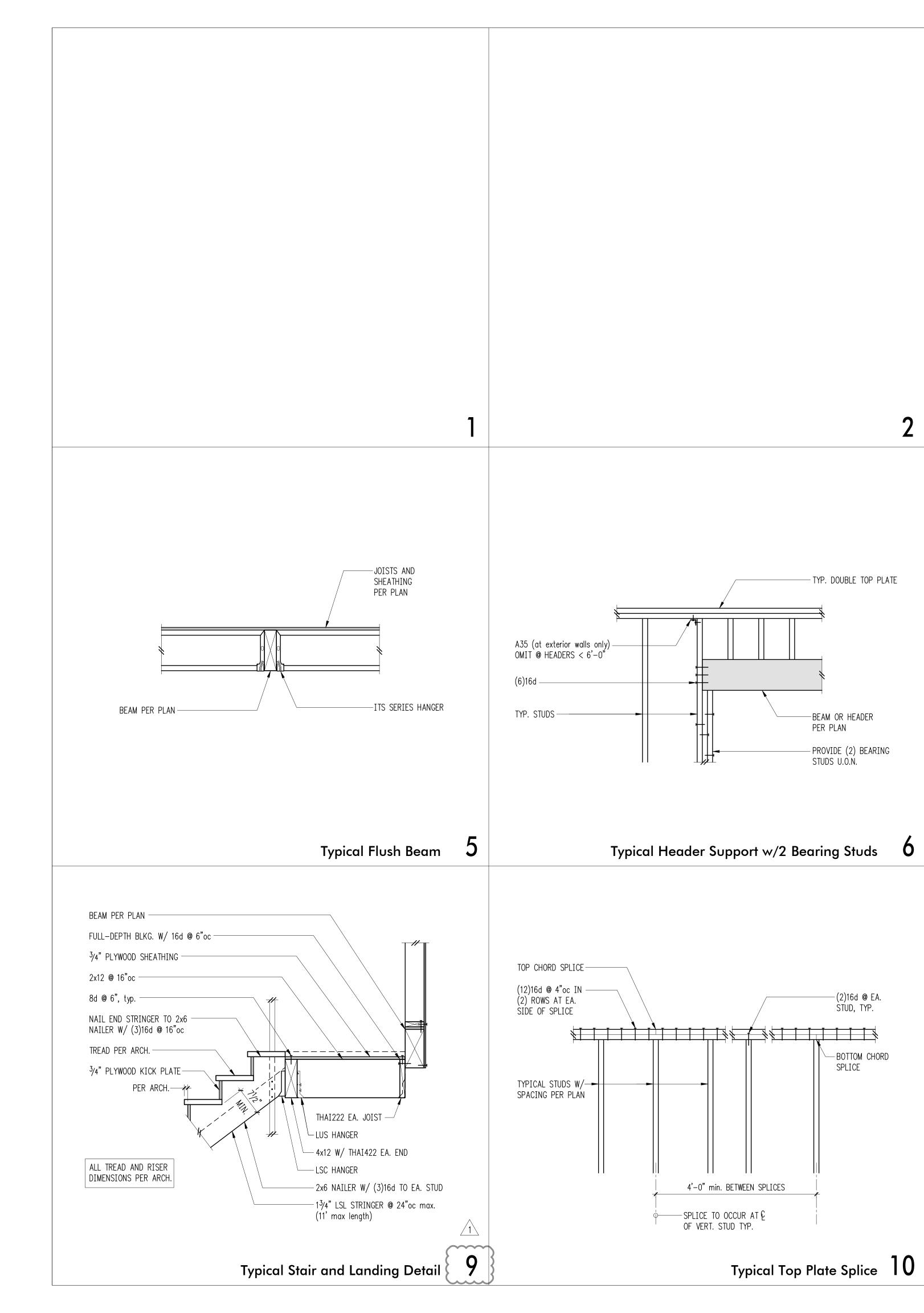
1/4" = 1'-o" U.N.O. February 22, 2023

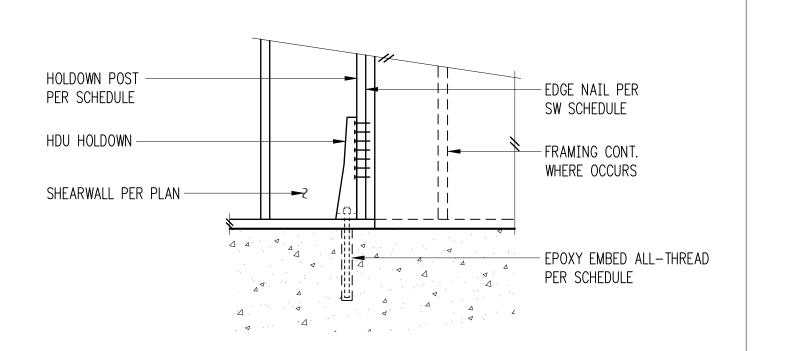
PROJECT NO: 13021-2022-03

SHEET NO:

S2.4







### Holdown Schedule

BLOCKING -

ÈA. JOIST

2x BLOCKING

BTWN. STUDS

SAWN OR MFR. --

LUMBER. 2x MIN.

SEE NOTES FOR

ADDITIONAL

REQUIREMENTS

16d NAILING -

PER SCHEDULE

EDGE NAILING -

OVER EA. STUD

16d NAILING -

PER SCHEDULE

BTWN. JOISTS

Plan	C	Threaded	T.R.	Holdown Post (1)	
Mark	Screws	Rod	Embed	if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS <sup>1</sup> /4"x2 <sup>1</sup> /2"	<sup>5</sup> /8"ø	12"	(2) 2x4	(2) 2x6
HDU4-SDS2.5	(10)SDS <sup>1</sup> /4"x2 <sup>1</sup> /2"	<sup>5</sup> /8"ø	16"	4x4	4x6
HDU5-SDS2.5	(14)SDS <sup>1</sup> /4"x2 <sup>1</sup> /2"	<sup>5</sup> /8"ø	20"	4x6	4x6

Bearing Wall

1/2" MAX. TO

min

Detail C

Detail D

EDGE OF

WASHER

-16d NAILING

2x NAILER

REPLYWOOD

EDGE

Detail A

Detail B

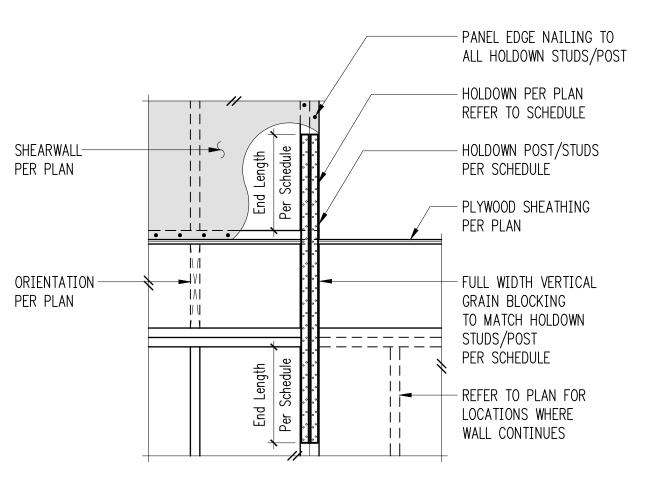
PLAN VIEW AT ABUTTING PANEL

EDGES OF W3 & W2

PER SCHEDULE

Typical HDU Holdown

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.



# Holdown Strap Schedule

Plan	End	#Nails Ea.	Holdown Studs/Pos	
Mark	Length	End Length	if 2x4	if 2x6
CS16	1'-2"	(13) 8d	(1) 2x4	(1) 2x6

Typical Holdown Schedule

-(4)8d INTO

EA. BLOCK

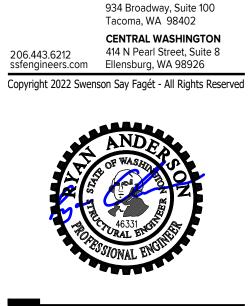
ÈA. BLOCK

(1) JOIST BAY OF

-2x BLOCKING

BTWN. STUDS

TJI BLKG. @ 48"oc



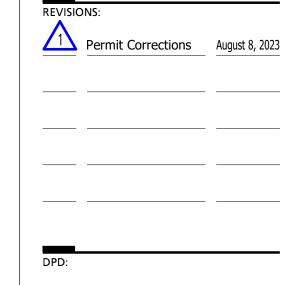
STRUCTURAL **ENGINEERING** 

2124 Third Avenue, Suite 100 Seattle, WA 98121

SEATTLE

TACOMA

DESIGN:	JDT	
DRAWN:	JDT	
CHECKED:	JDT	
APPROVED:	RJA	



PROJECT TITLE: Kaempf Residence

8238 SE 72nd St Mercer Island, WA 98040

Typical Shearwall Construction

ARCHI	TEC	Γ:	
HFR	ΡF	ar	ch

HERE architecture + interiors 9221 11th Ave SW Seattle, WA 98106 PH 425.830.2360 www.here.design

Permit

# Typical **Wood Framing Details**

3/4" = 1'-0" U.N.O. February 22, 2023

PROJECT NO: 13021-2022-03

SHEET NO:

**S4**.1

Shearwall Schedule 123678

-PANEL EDGE NAILING OF

- PROVIDE 3<sup>1</sup>/2" LSL JOIST

OR BLKG. @ SHEARWALLS

ABOVE W/ EDGE NAILING

- TOP PLATE CONNECTION

SHEARWALL BELOW

CLOSER THAN 4"oc

W/ 16d NAILS OR A35 W/LSL

-TJI JOISTS PER PLAN

— PANEL EDGE NAILING —

- SHEATHING PANEL JOINT

W/ PANEL EDGE NAILING

- BOTTOM PLATE CONNECTION

SEE SHEARWALL SCHEDULE FOR ALL NAILING AND

CONNECTIONS, NOT OTHERWISE NOTED

- PANEL EDGE NAILING

A A	Panel Edge		Top Plate Connection		Base Plate Connection	
Mark	Sheathing	Nailing	if TJI	if Wood <sup>⑨</sup>	at Wood 🖤 🗓	at Concrete
W6	15/32" CDX PLYWOOD	8d <b>@</b> 6"oc	16d @ 6"oc	A35 <b>@</b> 24"oc <sup>①</sup>	16d @ 6"oc	<sup>5</sup> /8"ø A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d <b>@</b> 4"oc	16d @ 4"oc	A35 @ 16"oc <sup>10</sup>	(2)rows 16d @ 6"oc	<sup>5</sup> /8"ø A.B. @ 32"oc
W3 4	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc <sup>①</sup>	(2)rows 16d @ 6"oc	<sup>5</sup> /8"ø A.B. @ 24"oc
W2 <sup>4</sup>	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc <sup>①</sup>	(2)rows 16d @ 4"oc <sup>③</sup>	<sup>5</sup> /8"ø A.B. @ 16"oc
2W3 <sup>⑤</sup>	15/32" CDX PLYWD. EA. SIDE	8d @ 3"oc EA. SIDE	n/a	A35 @ 6"oc	(3)rows 16d @ 4"oc <sup>(4)</sup>	<sup>5</sup> /8"ø A.B. @ 16"oc
2W2 <sup>⑤</sup>	15/32" CDX PLYWD. EA. SIDE	8d @ 2"oc EA. SIDE	n/a	HGA10KT @ 8"oc	(3)rows 16d @ 4"oc <sup>4</sup>	<sup>5</sup> /8"ø A.B. @ 12"oc
2W2-10 <sup>(5)</sup>	15/32" CDX PLYWD. EA. SIDE	10d @ 2"oc EA. SIDE	n/a	HGA10KT @ 6"oc	(4)rows 16d @ 4"oc <sup>4</sup>	<sup>5</sup> /8"ø A.B. @ 12"oc

Non-Bearing Wall

- ① BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"o.c.
- ② 8d NAILS SHALL BE 0.131"ø x 2 1/2" (common) 16d NAILS SHALL BE 0.135"ø x 3 1/2" (box) 10d NAILS SHALL BE 0.148"ø x 3" (common).
- ④ 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2.
- SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES
- SHALL BE OFFSET EACH SIDE OF WALL. STAGGER NAILS AT ADJOINING PANEL EDGES. 3x STUD, MIN., REQUIRED AT END OF SHEARWALL.
- (6) TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SINGLE-SIDED SHEARWALLS. ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.
- SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ② ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX, EXCEPT AT 10d PANEL EDGE NAILING.
- ① A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION. ① AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
- ① LVL RIMS PERMITTED AT SINGLE SIDED SHEAR WALLS ONLY.
- 13 PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.
- 4 MINIMUM RIM OR JOIST 31/2" WIDE BELOW SHEARWALL

Shearwall Schedule 12

