

KAEMPF RESIDENCE

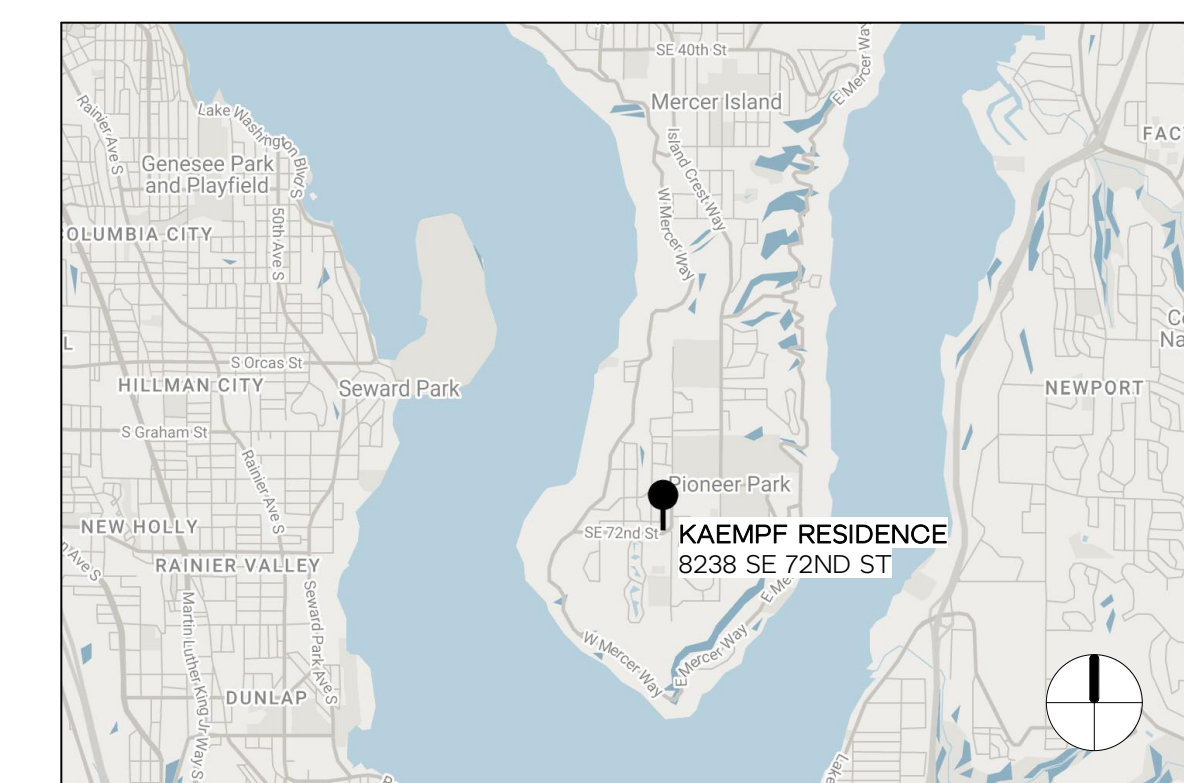
PERMIT DRAWING SET - AUGUST 8, 2023



PROJECT INFORMATION

JURISDICTION PROJECT NO: TBD
 PROJECT ADDRESS: 8238 SE 72ND ST, MERCER ISLAND, WA 98040
 ASSESSOR PARCEL NO: 873220-0090
 LEGAL DESCRIPTION: TWIN VIEW ADD BLOCK 1 LOT 9
 PROJECT DESCRIPTION: MINOR FIRST FLOOR INTERIOR RENOVATION AND SECOND FLOOR ADDITION WITH A PROPOSED UPPER DECK.
 REQUIRES NFPA 72 "CHAPTER 29" MONITORED FIRE ALARM SYSTEM PER NFPA AND COMI STANDARDS.

VICINITY MAP



DRAWING INDEX

- G0.01 COVER SHEET // GENERAL INFORMATION
- G0.02 PROJECT STANDARDS // CONTRACT NOTES
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- S2.2 FIRST FLOOR FRAMING PLAN
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- S3.2 CONCRETE DETAILS

DRAWING INDEX

- S4.1 TYPICAL WOOD FRAMING DETAILS
- S4.2 WOOD FRAMING DETAILS

PROJECT

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12341 REGISTERED ARCHITECT
 KAYSIE ROZSONITS
 STATE OF WASHINGTON

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 ORIGINAL SHEET SIZE IS 22"x34"

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HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISION
 A 05.22.2023 PLAN CHANGE

ISSUANCE
 09.28.2022 SCHEMATIC PRICING
 03.09.2023 PERMIT SUBMITTAL

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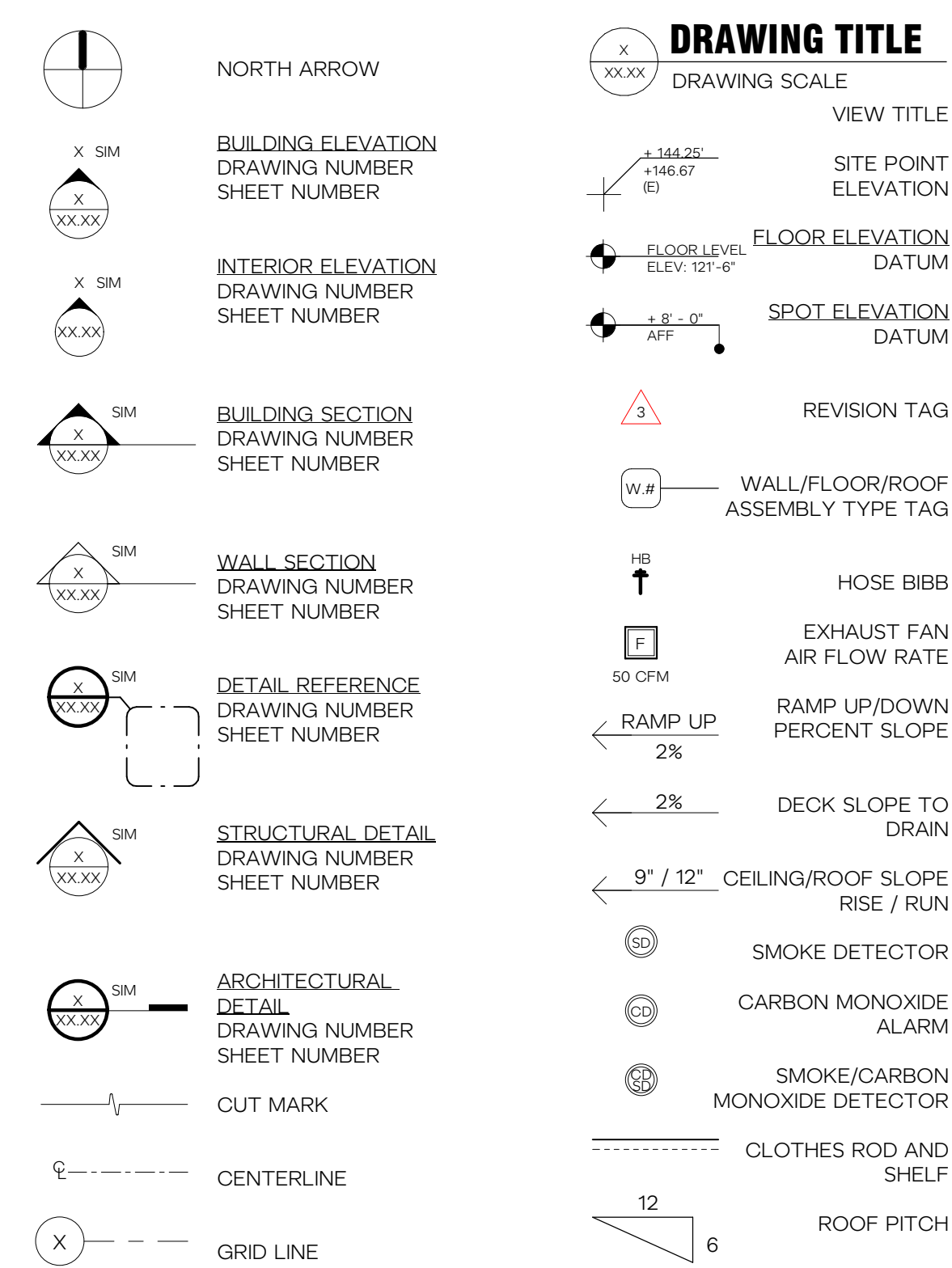
COVER SHEET // GENERAL INFORMATION

GO.01

ABBREVIATIO

Table of abbreviations for construction materials and components, including AT (Anchor Bolt), AC (Air Conditioning), and various structural and mechanical terms.

DRAWING SYMBOL



CONTRACT GENERAL

- 1. GENERAL CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION SITE MEETING WITH OWNER, ARCHITECT AND OTHER DESIGN CONSULTANTS, AS REQUIRED.
2. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADE CONDITIONS AND HEIGHT LIMITS WITH ARCHITECT ON SITE PRIOR TO BEGINNING OF WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN THE SITE SURVEY AND/OR OTHER DRAWINGS.

CONTRACT DIMENSION

- 1. DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS, PRIOR TO PROCEEDING WITH WORK.
2. AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND DOORS, UNLESS NOTED OTHERWISE.

FINISHES KEY

Table listing finish types such as CARPET, FABRIC, GLASS, METAL, PLASTIC LAMINATE, PAINT, and RESILIENT FLOORING with their corresponding symbols.

SCHEDULES KEY

Table listing schedule types such as EG (Egress), SG (Tempered), XXX (Door Tag), SWG (Salvage Tag), L-XX (Lighting Tag), P-XX (Plumbing Tag), SPC-X (Specialty Tag), FUR-X (Furnishings Tag), EQP-X (Equipment & Appliance Tag), BAC-X (Bath Accessory Tag), DAC-X (Decorative Accessory Tag), HWC-X (Cabinet Hardware Tag), HWD-X (Door Hardware Tag), and HWW-X (Window Hardware Tag).

ELECTRICAL SYMBOL

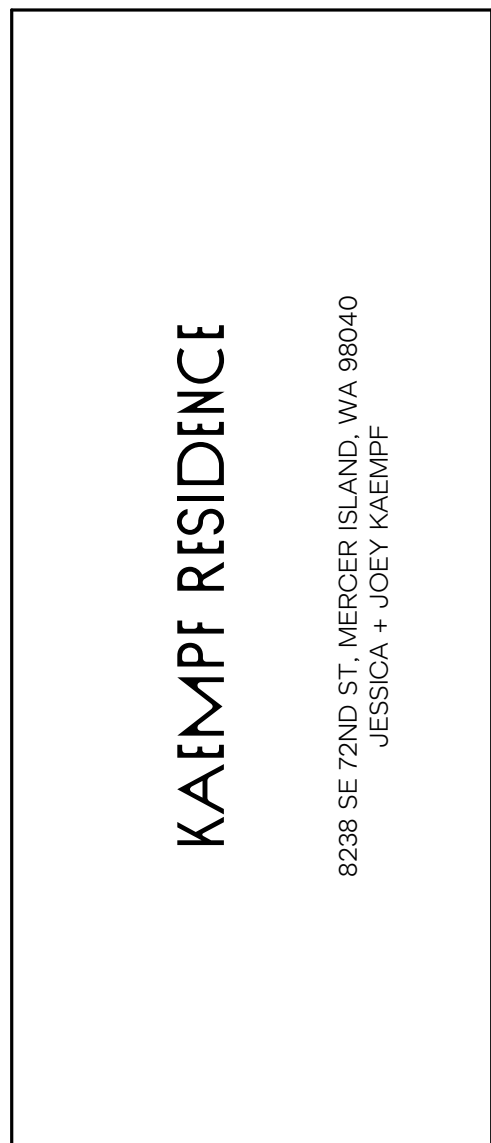
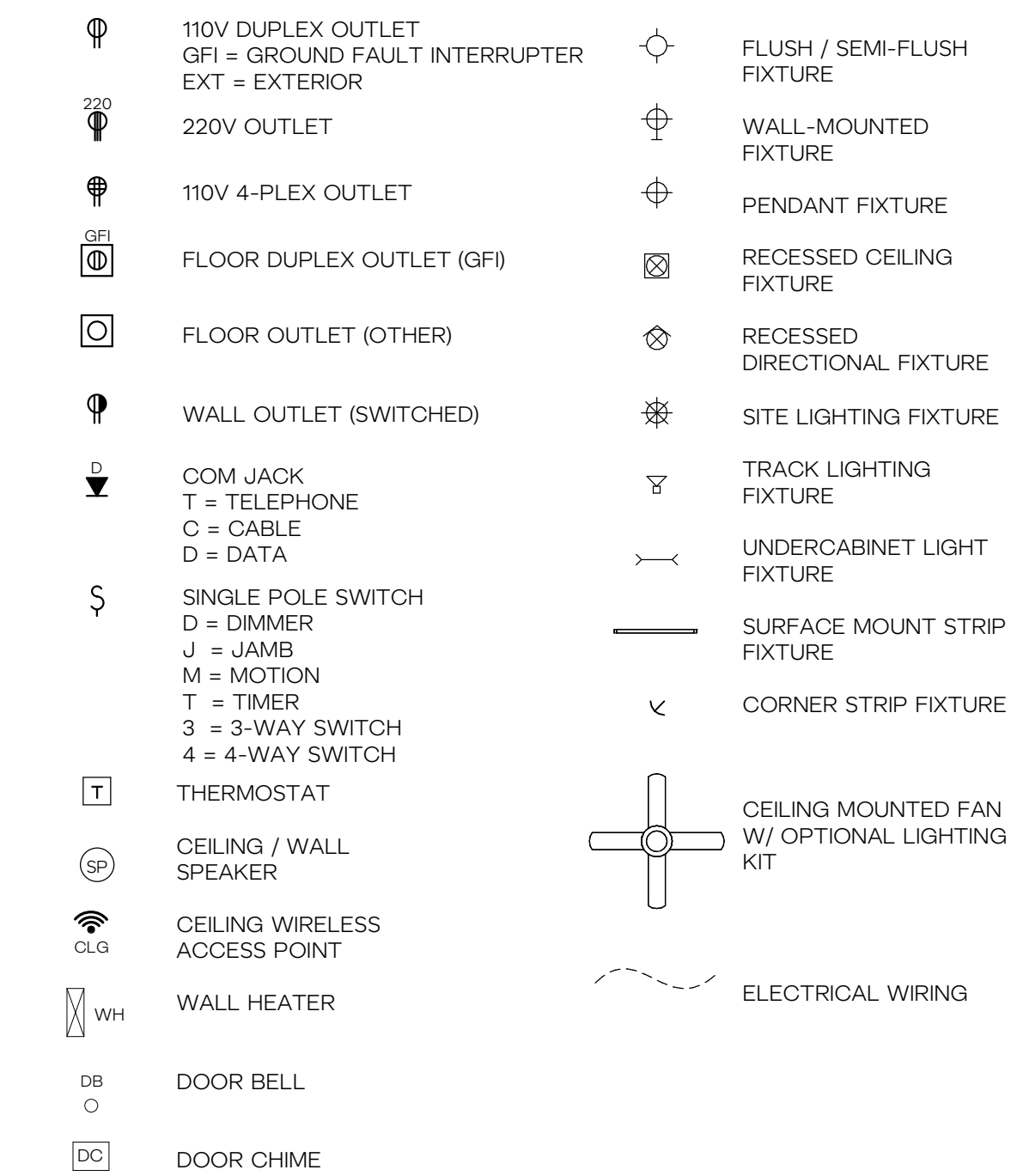
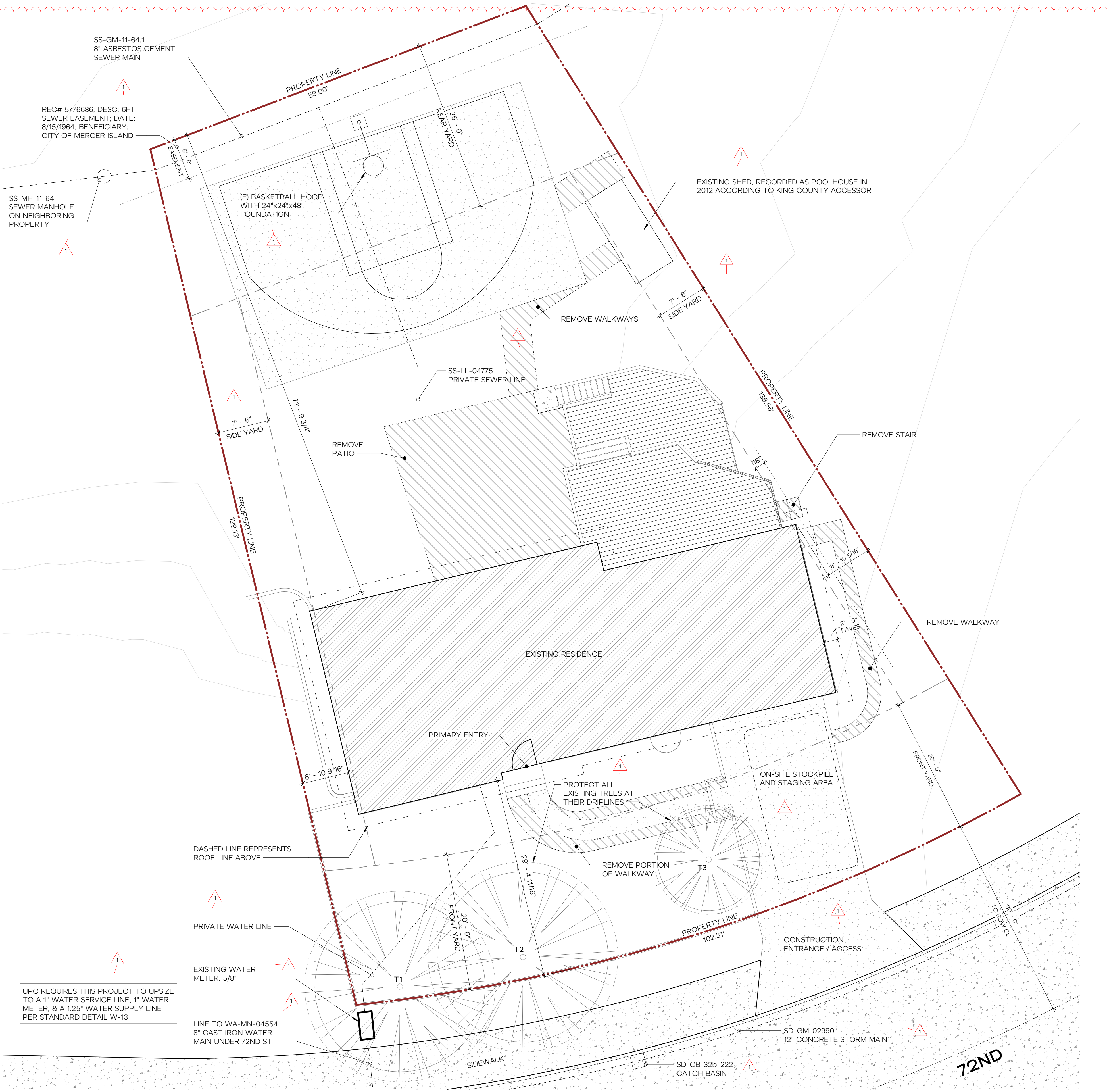


Table with project information: HERE PROJECT # (2022015), JURISDICTIONAL # (TBD), and REVISION table.

Table with ISSUANCE information: 09.28.2022 (SCHEMATIC PRICING), 03.09.2023 (PERMIT SUBMITTAL).

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UPC REQUIRES THIS PROJECT TO UPSIZE TO A 1" WATER SERVICE LINE, 1" WATER METER, & A 1.25" WATER SUPPLY LINE PER STANDARD DETAIL W-13

1 ARCHITECTURAL SITE PLAN - PROPOSED
1/8" = 1'-0"

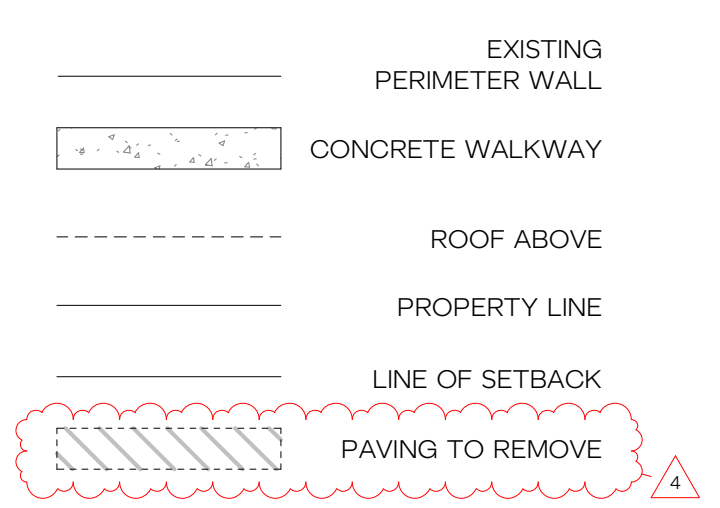
SITE PLAN NOTES

1. INSTALLATION OF EROSION CONTROL MEASURES IS REQUIRED PRIOR TO ANY GROUND DISTURBANCE.
2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A "FIRST GROUND DISTURBANCE INSPECTION" AFTER THE BUILDING PERMIT IS ISSUED TO MEET WITH THE SITE INSPECTOR.

LAND USE / ZONING CODE

ZONE:	R-9.6
LOT SIZE:	10,893 SF
FRONT SETBACK:	20'-0"
MIN. REQ'D:	29'-4 11/16" NO CHANGE
PROPOSED:	
REAR SETBACK:	25'-0"
MIN. REQ'D:	71'-9 3/4" NO CHANGE
PROPOSED:	
EAST SIDE SETBACK:	7'-6"
MIN. REQ'D:	6'-10 5/8" NO CHANGE
PROPOSED:	
WEST SIDE SETBACK:	7'-6"
MIN. REQ'D:	6'-10 9/16" NO CHANGE
PROPOSED:	
MAXIMUM GROSS FLOOR AREA:	40%
ALLOWED:	4,357 SF
EXISTING:	2,793 SF
AVAILABLE:	1,564 SF
PROPOSED:	894 SF

SITE PLAN



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PRELIMINARY NOT FOR CONSTRUCTION

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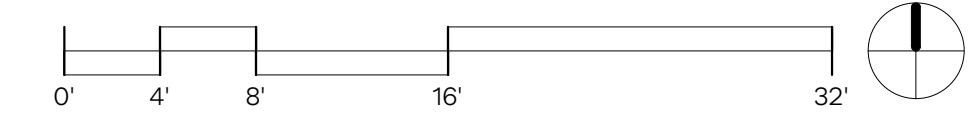
1	05.22.2023	REVIEW RESPONSES
4	08.08.2023	REVIEW RESPONSES

ISSUANCE
09.28.2022 SCHEMATIC PRICING
03.09.2023 PERMIT SUBMITTAL

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SITE PLAN // LAND USE CODE SUMMARY

A1.11



LOT COVERAGE CALCULATION

NET LOT AREA	=	10,540 SF
40% OF LOT AREA (MAX BUILDING COVERAGE)	=	4,216 SF
AS PER MICC 19.02.020.F.3 FOR LOTS WITH A SLOPE OF LESS THAN 15%		
EXISTING LOT COVERAGE	=	2,630 SF
ADDED LOT COVERAGE	=	0 SF
TOTAL LOT COVERAGE	=	2,630 SF
		NO CHANGE
*UNUSED LOT COVERAGE	=	1,586 SF

- EXISTING LOT COVERAGE
- PROPOSED LOT COVERAGE

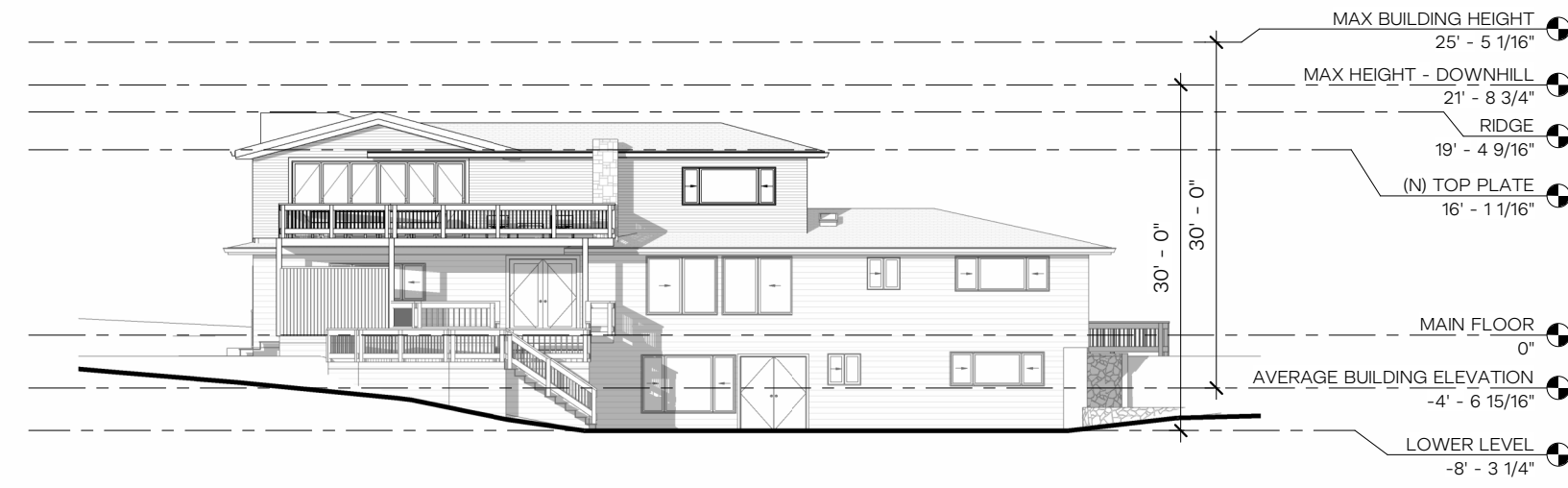
LANDSCAPING AREA

NET LOT AREA	=	10,540 SF
60% OF LOT AREA (MINIMUM LANDSCAPE COVERAGE)	=	6,324 SF
EXISTING LANDSCAPING AREA	=	6,376 SF
ADDED LANDSCAPING AREA	=	0 SF
TOTAL LANDSCAPING SQUARE FOOTAGE	=	6,376 SF
		NO CHANGE

- EXISTING LANDSCAPING SURFACE
- ADDED LANDSCAPING SURFACE



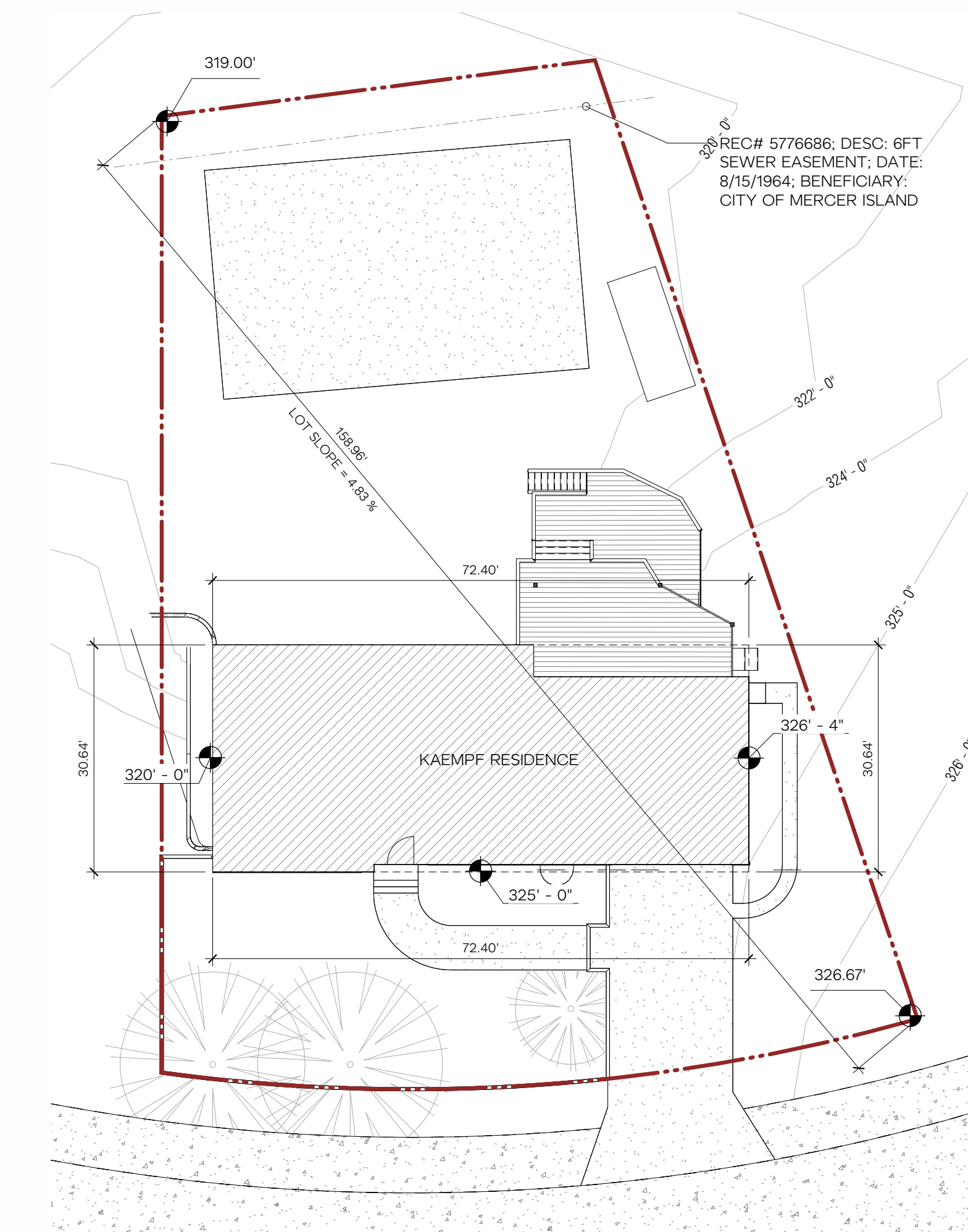
5 LOT COVERAGE CALCULATIONS
1/16" = 1'-0"



4 SOUTH ELEVATION - MAX BUILDING HEIGHT
1/16" = 1'-0"



3 NORTH ELEVATION - MAX BUILDING HEIGHT
1/16" = 1'-0"



2 AVERAGE GRADE DIAGRAM // LOT SLOPE
1/16" = 1'-0"

AVERAGE BUILDING ELEVATION

MICC 19.02.020.E.4: AT THE MIDPOINT OF EACH SIDE OF THE SMALLEST RECTANGLE THAT CAN BE DRAWN TO ENCLOSE THE STRUCTURE.
PROJECT ELEVATION 0'-0" = SURVEY ELEVATION 326.66'

RECTANGLE SIDE	LENGTH	MIDPOINT ELEVATION	TOTAL
NORTH	72.40'	X 319.50'	= 23,059.40
SOUTH	72.40'	X 325.00'	= 23,530.00
EAST	30.64'	X 326.33'	= 9,998.75
WEST	30.64'	X 320.00'	= 9,804.80

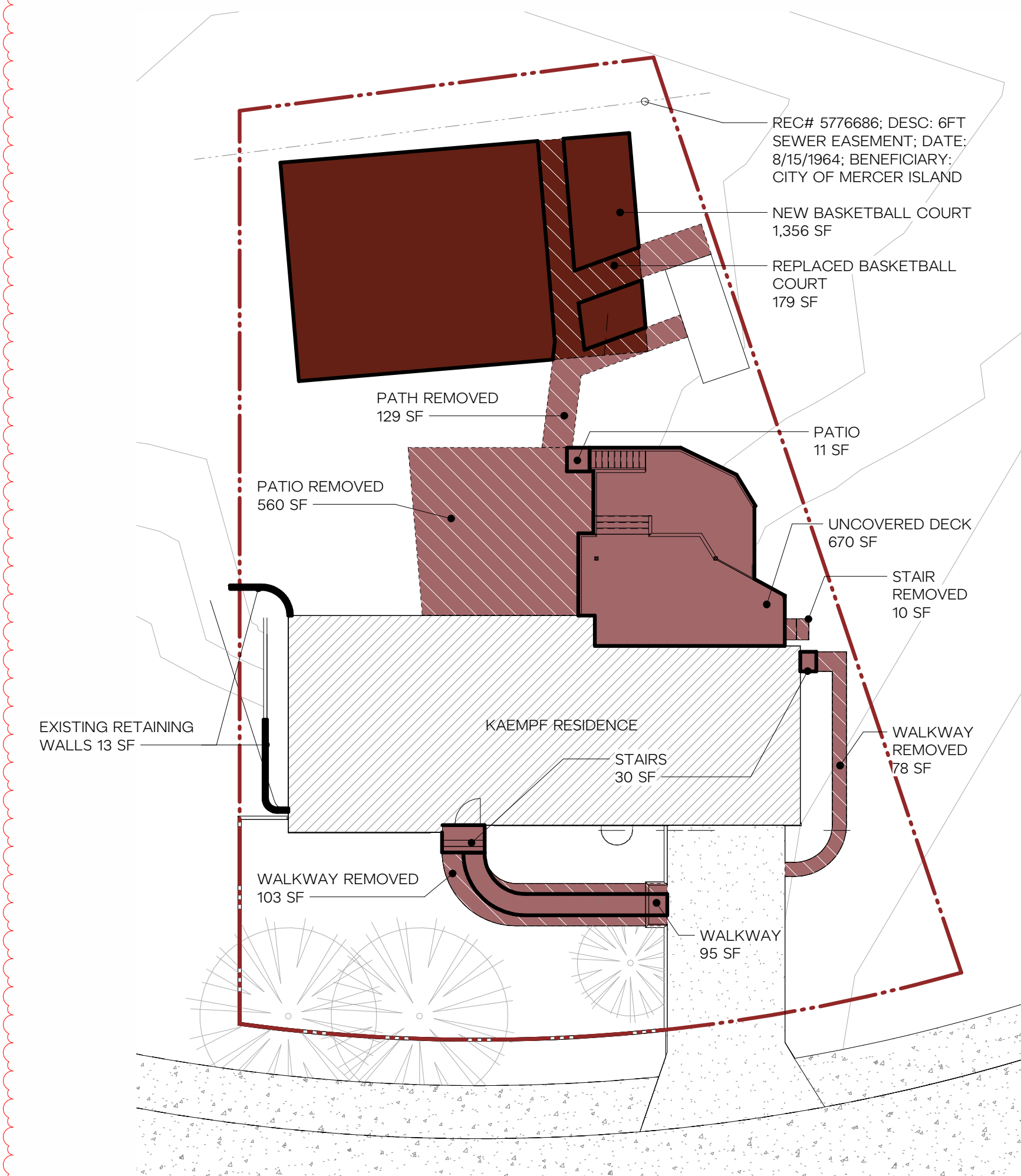
TOTAL 206.08' **66,392.95**
 AVERAGE MIDPOINT ELEVATION (66,392.95/206.08) = 322.17'
 AVERAGE GRADE REFERENCED TO 0'-0" DATUM (322.17-326.66) = -4' 6 15/16"

GRADE AVERAGE: 322' 2 1/16"
 MAX WALL HEIGHT: 352' 2 1/16"
 PROPOSED HEIGHT: 345' 9 9/16"

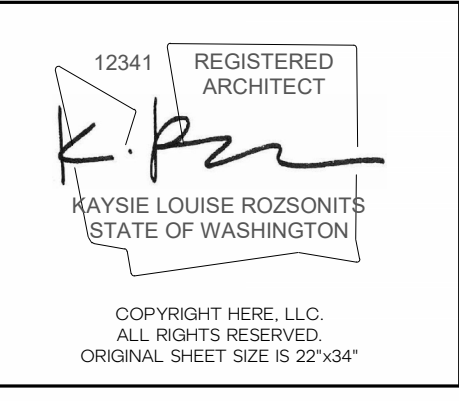
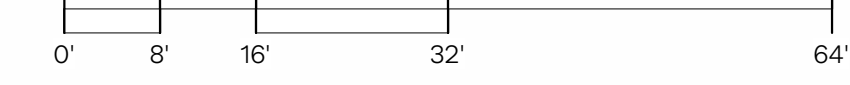
HARDSCAPE CALCULATION

NET LOT AREA	=	10,540 SF
9% OF LOT AREA (MAX COVERAGE)	=	948 SF
*UNUSED LOT COVERAGE	=	1,586 SF
TOTAL ALLOWED HARDSCAPE	=	2,534 SF
EXISTING HARDSCAPE	=	1,878 SF
REMOVED + REMOVED TO REPLACE HARDSCAPE	=	1,059 SF
NEW + REPLACED HARDSCAPE	=	1,535 SF
TOTAL HARDSCAPE SQUARE FOOTAGE	=	2,354 SF
NET NEW IMPERVIOUS SURFACE	=	476 SF

- REMOVED HARDSCAPE
- EXISTING HARDSCAPE
- REPLACED HARDSCAPE
- NEW HARDSCAPE



6 HARDSCAPE DIAGRAM
1/16" = 1'-0"



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1	05.22.2023	REVIEW RESPONSES
2	07.14.2023	REVIEW RESPONSES
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ISSUANCE

09.28.2022	SCHEMATIC PRICING
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LAND DEVELOPMENT DIAGRAMS
A1.12

GROSS FLOOR AREA & KEY

GROSS FLOOR AREA CALCULATIONS PER MICC 19.02.010.D

ZONING	=	R-9.6
LOT SIZE	=	10,899 SF
FAR: ALLOWED (40% LOT)	=	4,360 SF

GROSS FLOOR AREA	=	116 SF
(E) SHED	=	1500 SF
(E) BASEMENT	=	1,473 SF
(E) MAIN FLOOR	=	526 SF
(E) GARAGE	=	892 SF
(N) SECOND FLOOR	=	-750 SF (SEE CALCS TO RIGHT)
BASEMENT MODIFIER	=	-92 SF
STAIR MODIFIER	=	3,665 SF
TOTAL	=	

TABLE OF WALL LENGTHS AND COVERAGE

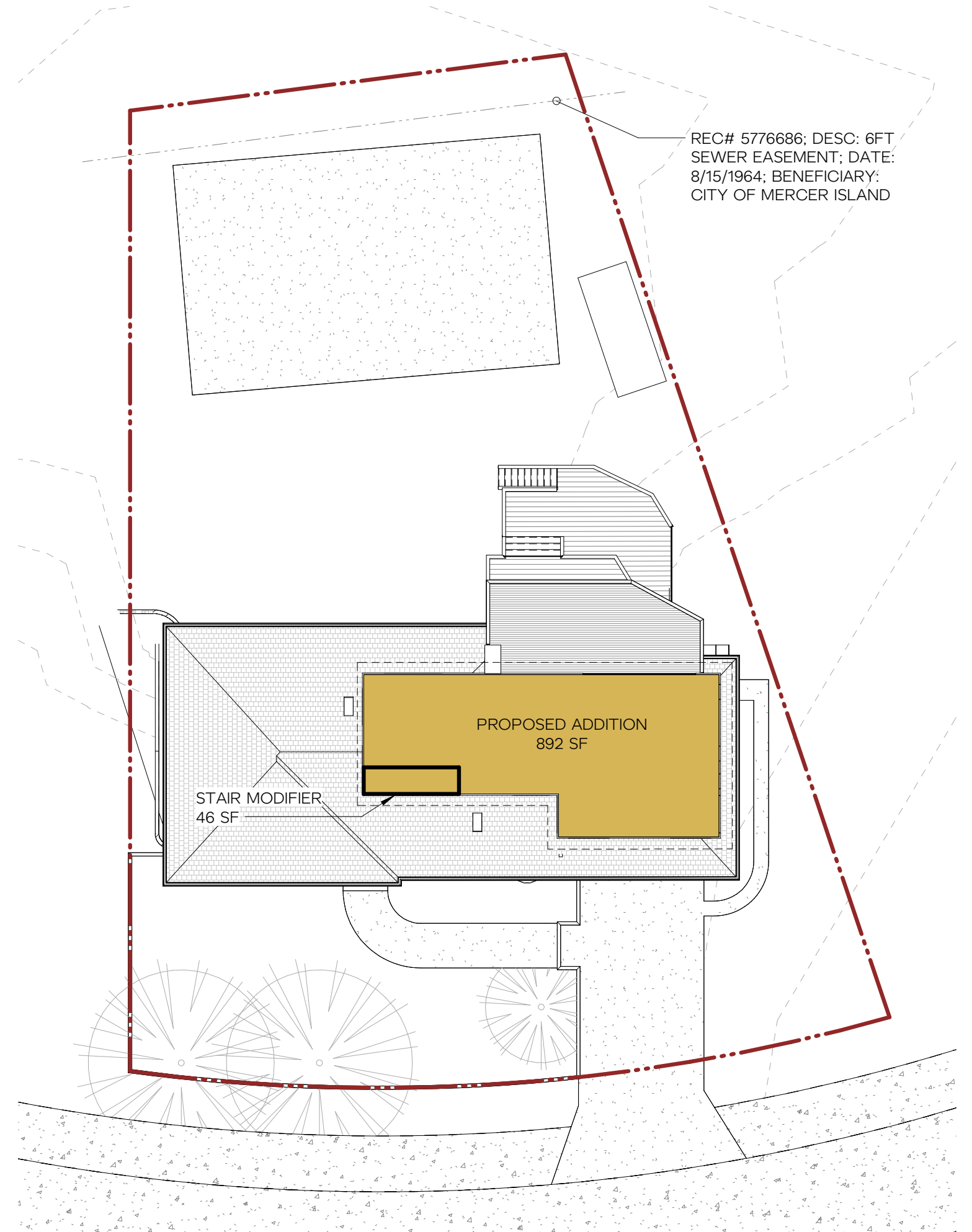
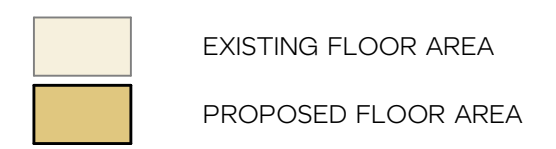
WALL SEGMENT	LENGTH	X	COVERAGE	=	RESULT
A	43' - 2 3/4"	0%			0' - 0"
B	7' - 10 1/2"	16%			1' - 3"
C	4' - 5"	90%			3' - 11"
D	25' - 2 1/2"	90%			22' - 8 1/4"
E	0' - 11 1/2"	90%			0' - 10"
F	29' - 5 3/4"	90%			26' - 6 1/4"
G	21' - 7 1/2"	90%			19' - 5 1/2"
H	30' - 7 1/4"	22%			6' - 8 3/4"
TOTAL	163' - 4 3/4"	-			81' - 4 3/4"

MICC 19.02.010.D.1 GROSS FLOOR AREA:
THE GROSS FLOOR AREA SHALL NOT EXCEED (R-9.6) 8,000 SQUARE FEET OR 40 PERCENT OF THE LOT AREA, WHICHEVER IS LESS.

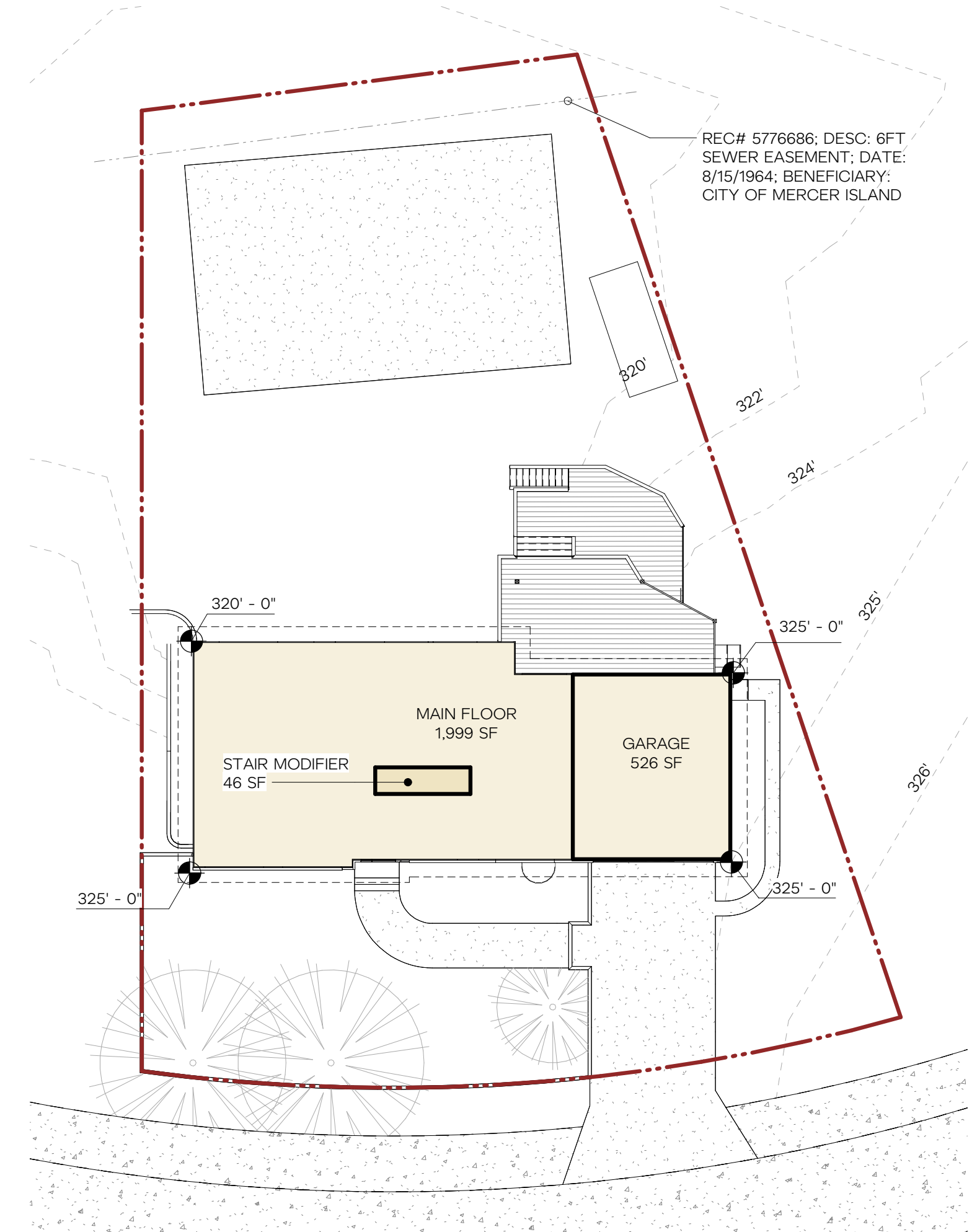
1,500 SF (TOTAL BASEMENT AREA) X
0.50 (81.40 WALL SEGMENT COVERAGE /
163.40 WALL SEGMENT LENGTH) =

1,500 SF X 50% = 750 SF
EXCLUDED FROM GROSS FLOOR AREA

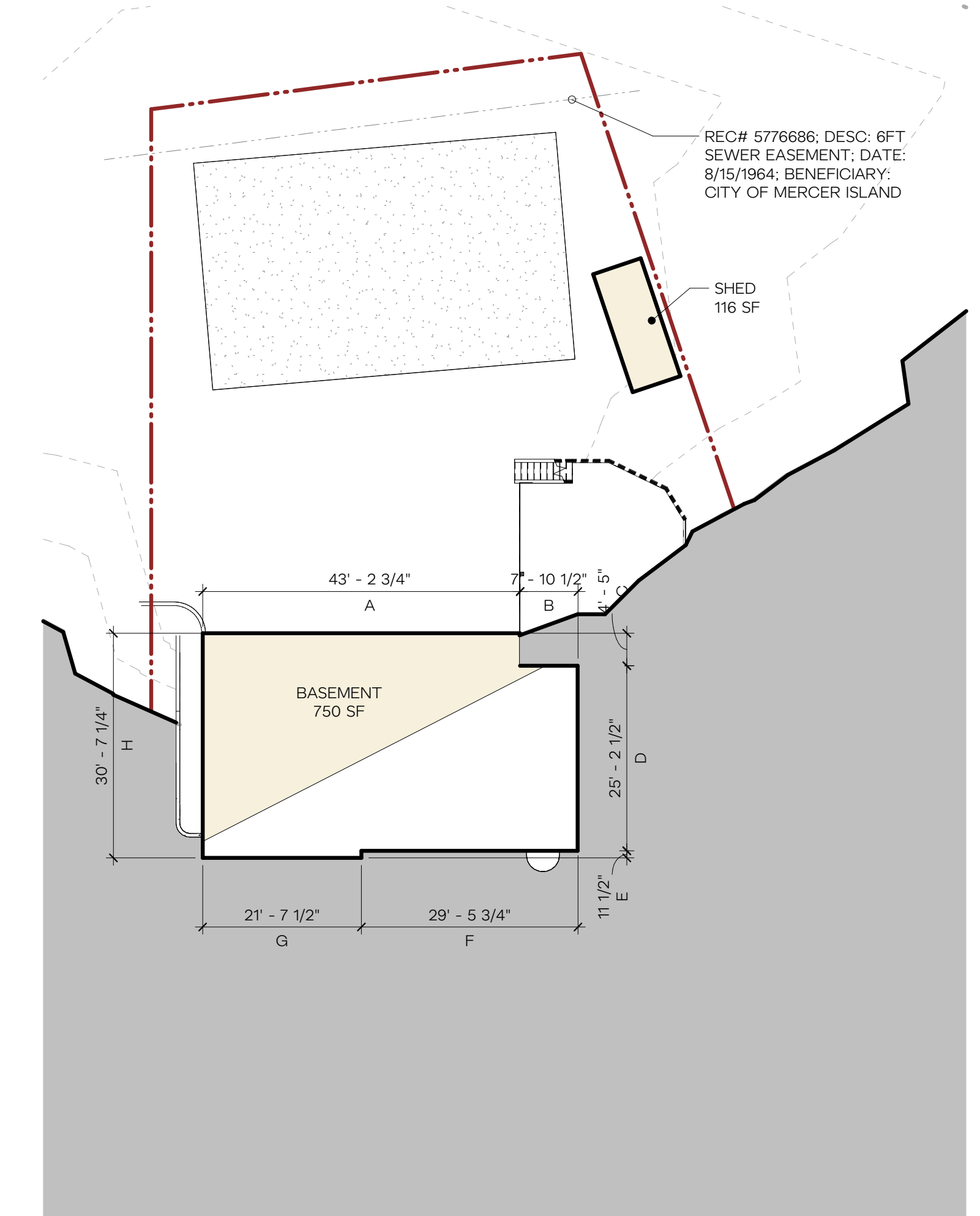
APPENDIX B - BASEMENT FLOOR AREA CALCULATION
THE MERCER ISLAND DEVELOPMENT CODE EXCLUDES THAT PORTION OF THE BASEMENT FLOOR AREA FROM THE GROSS FLOOR AREA WHICH IS BELOW THE EXISTING GRADE.



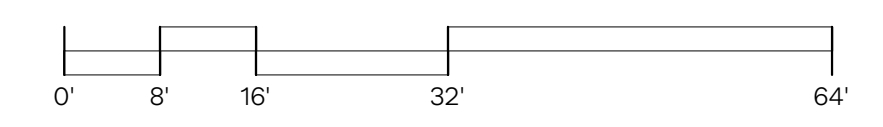
3 SECOND FLOOR - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



2 MAIN FLOOR - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



1 BASEMENT - GROSS FLOOR AREA DIAGRAM
1/16" = 1'-0"



REVISION	DATE	DESCRIPTION

GROSS FLOOR AREA & KEY

GROSS FLOOR AREA CALCULATIONS PER MICC 19.02.010.D

ZONING = R-9.6
LOT SIZE = 10,899 SF
FAR: ALLOWED (40% LOT) = **4,360 SF**

GROSS FLOOR AREA
(E) SHED = 116 SF
(E) BASEMENT = 1500 SF
(E) MAIN FLOOR = 1,473 SF
(E) GARAGE = 526 SF
(N) SECOND FLOOR = 892 SF
BASEMENT MODIFIER = -750 SF (SEE CALCS TO RIGHT)
STAIR MODIFIER = -92 SF
TOTAL = 3,665 SF

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APPENDIX B - BASEMENT FLOOR AREA CALCULATION
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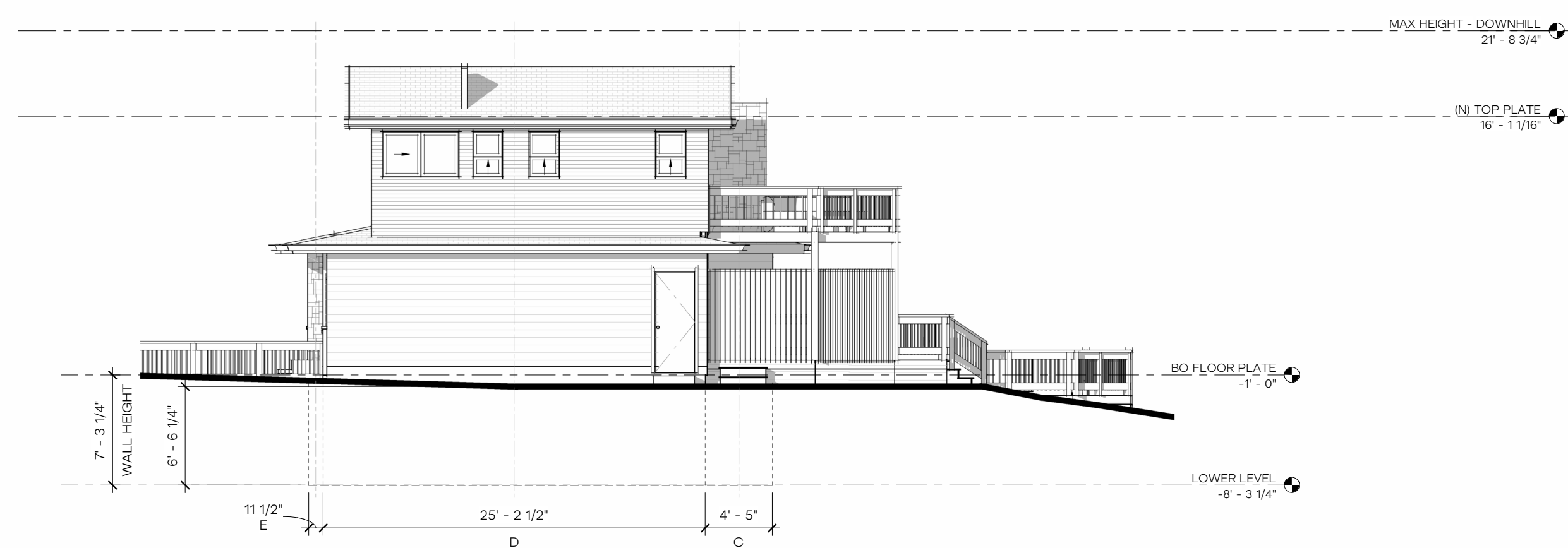
TABLE OF WALL LENGTHS AND COVERAGE

WALL SEGMENT	LENGTH	X COVERAGE	= RESULT
A	43' - 2 3/4"	0%	0' - 0"
B	7' - 10 1/2"	16%	1' - 3"
C	4' - 5"	90%	3' - 11"
D	25' - 2 1/2"	90%	22' - 8 1/4"
E	0' - 11 1/2"	90%	0' - 10"
F	29' - 5 3/4"	90%	26' - 6 1/4"
G	21' - 7 1/2"	90%	19' - 5 1/2"
H	30' - 7 1/4"	22%	6' - 8 3/4"
TOTAL	163' - 4 3/4"	-	81' - 4 3/4"

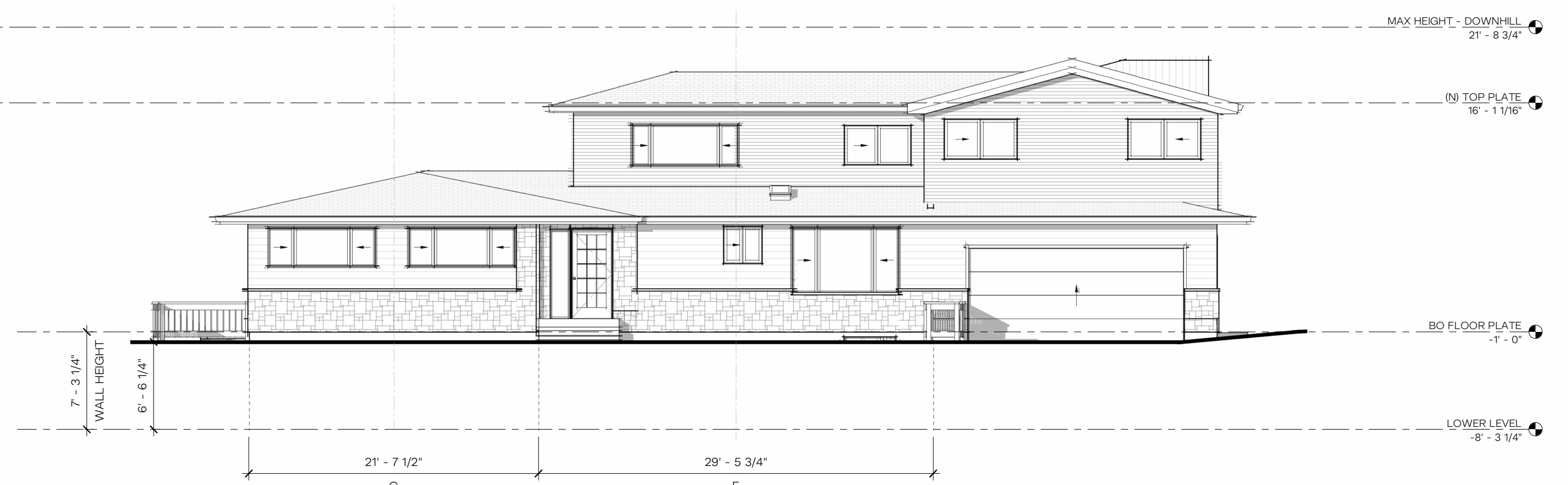
1,500 SF (TOTAL BASEMENT AREA) X
0.50 (81.40 WALL SEGMENT COVERAGE /
163.40 WALL SEGMENT LENGTH) =

1,500 SF X 50% = 750 SF
EXCLUDED FROM GROSS FLOOR AREA

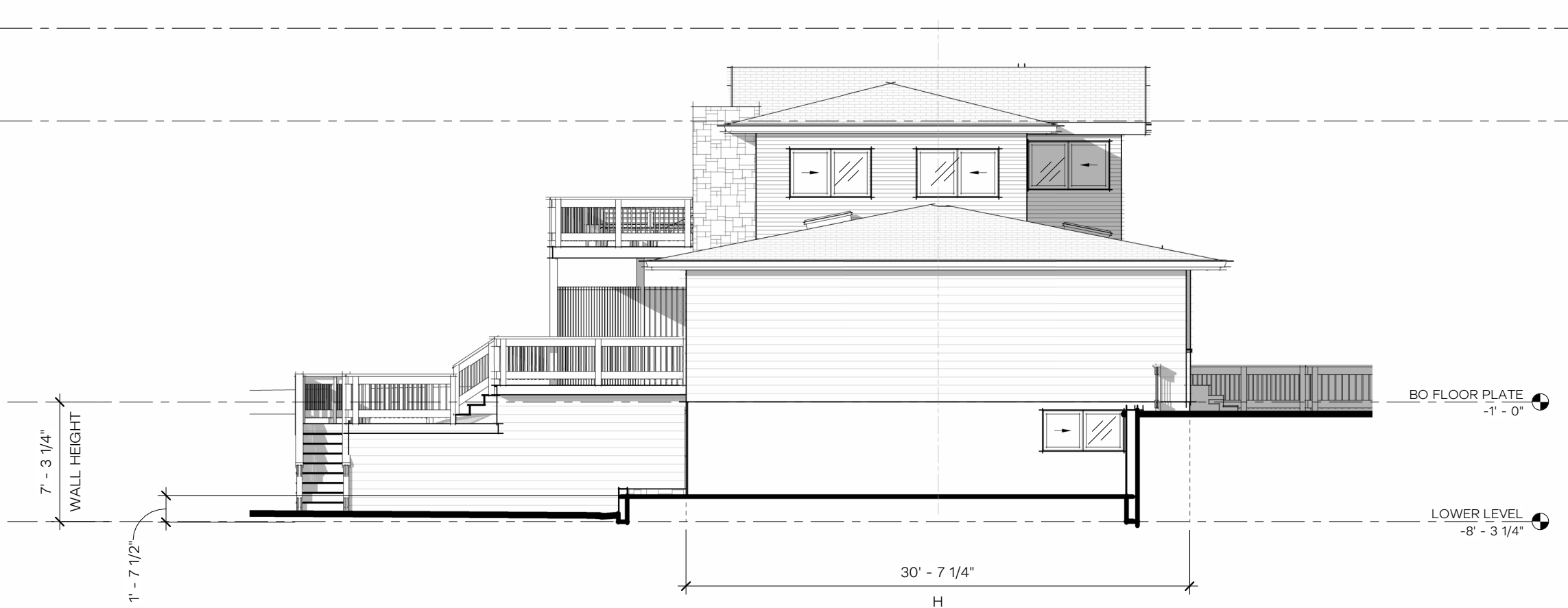
EXISTING FLOOR AREA
PROPOSED FLOOR AREA



4 EAST ELEVATION - FAR
1/8" = 1'-0"



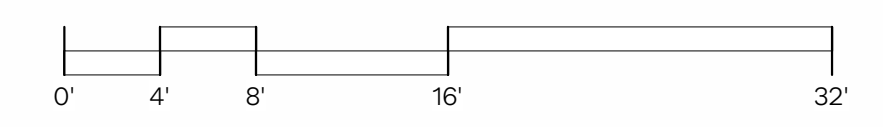
3 NORTH ELEVATION - FAR
1/8" = 1'-0"



2 WEST ELEVATION - FAR
1/8" = 1'-0"



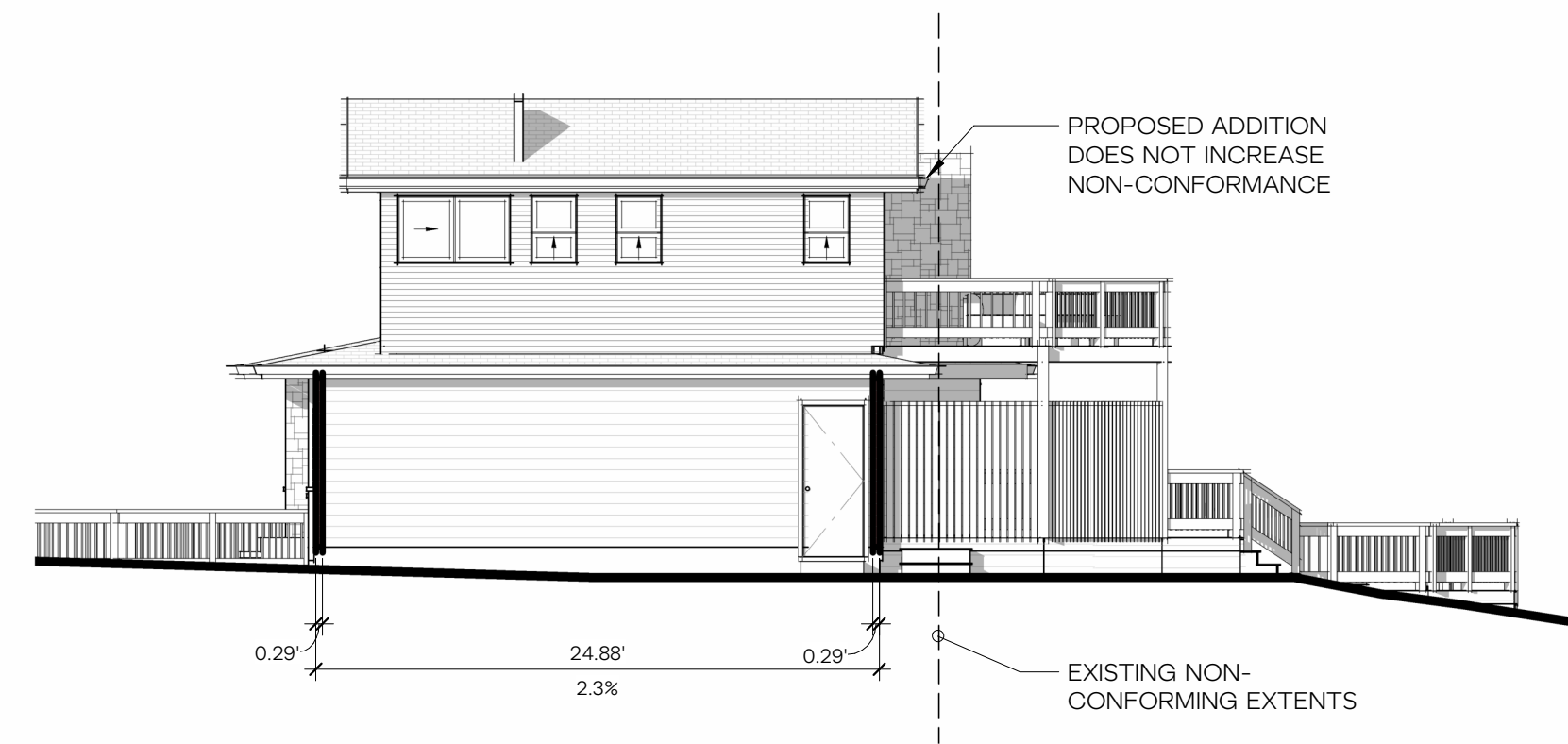
1 SOUTH ELEVATION - FAR
1/8" = 1'-0"



NON-CONFORMING STRUCTURE

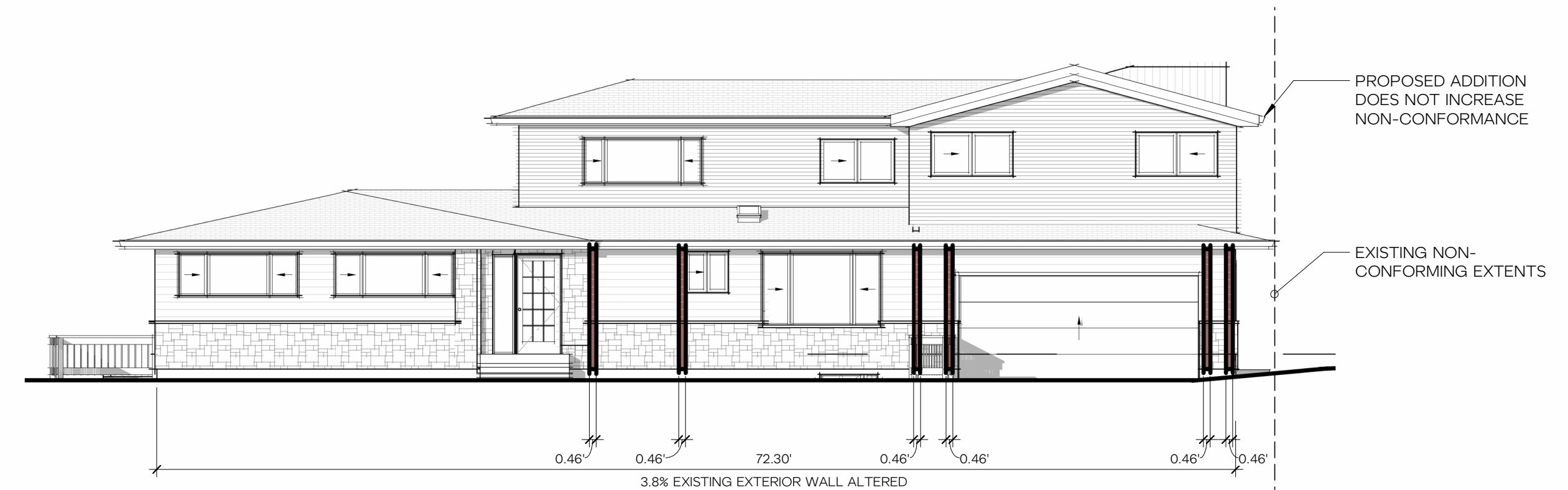
LENGTH OF EXISTING EXTERIOR WALLS	
SOUTH WALL LENGTH	= 72.29 FT
WEST WALL LENGTH	= 30.52 FT
NORTH WALL LENGTH	= 72.30 FT
EAST WALL LENGTH	= 24.88 FT
TOTAL WALL LENGTH	= 199.98 FT
40% OF EXISTING EXTERIOR WALLS (MAX STRUCTURAL ALTERATION)	
	= 80 FT
SOUTH WALL STRUCTURAL ALTERATIONS	= 2.59 FT
WEST WALL STRUCTURAL ALTERATIONS	= 0 FT
NORTH WALL STRUCTURAL ALTERATIONS	= 2.76 FT
EAST WALL STRUCTURAL ALTERATIONS	= 0.58 FT
TOTAL STRUCTURAL ALTERATION	= 5.93 FT

 NEW STRUCTURAL ELEMENTS



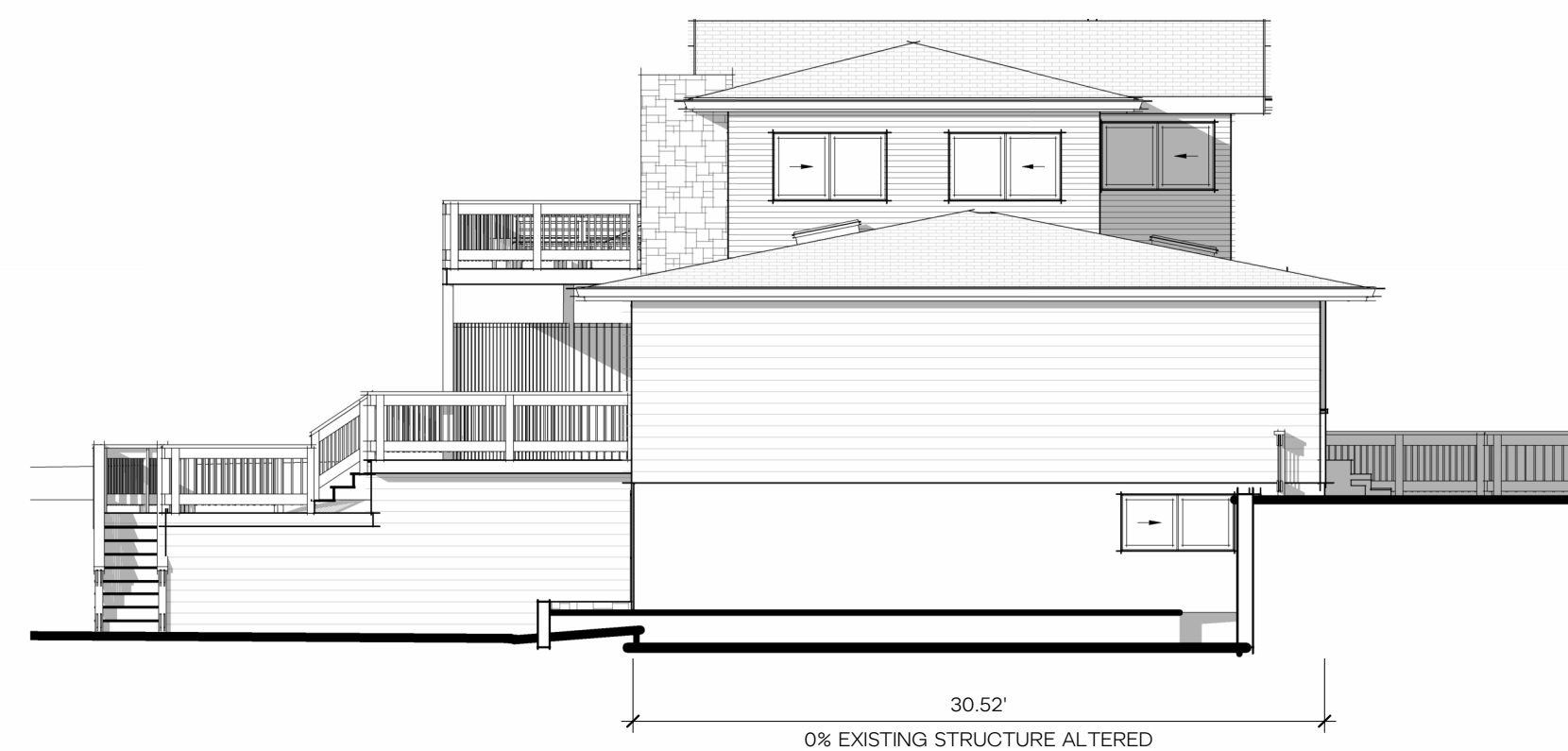
4 EAST ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"



3 NORTH ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"



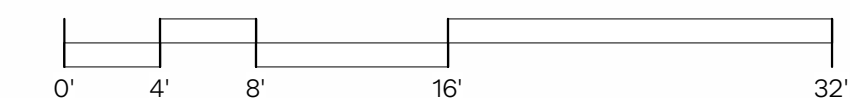
2 WEST ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"



1 SOUTH ELEVATION - NON-CONFORMING STRUCTURE

1/8" = 1'-0"



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STATE OF WASHINGTON

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ORIGINAL SHEET SIZE IS 22"x34"

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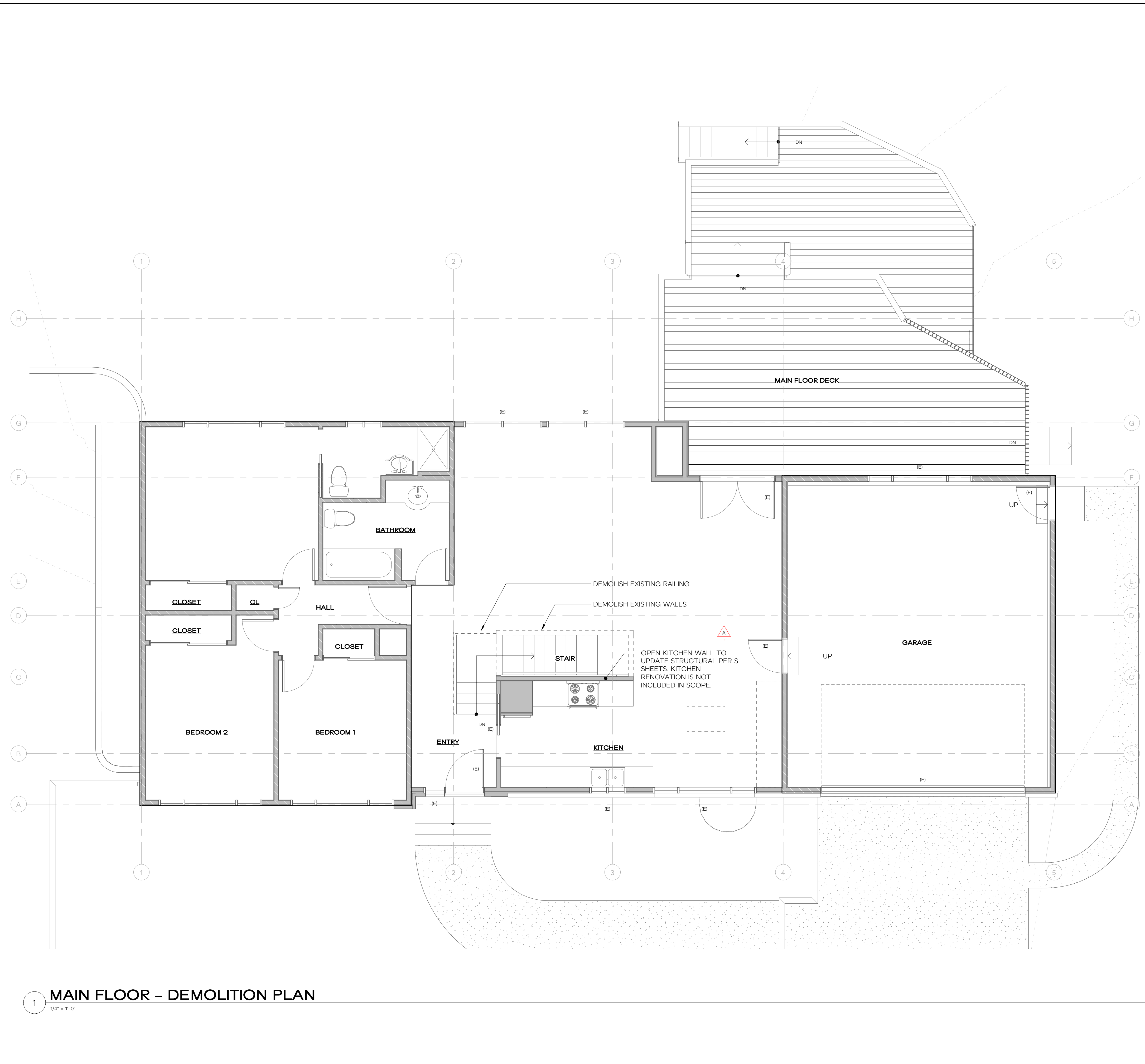
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DIAGRAMS - NON-CONFORMING STRUCTURE
A1.15



WALL KEY		WINDOW / DOOR	
	EXISTING WALL		(E) EXISTING DOOR OR WINDOW TO REMAIN
	DEMO WALL		(D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
	NEW WALL		(S) EXISTING DOOR OR WINDOW TO BE SALVAGED
	NEW CONC WALL		(R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE
	ROOF CUT		
	AREAS NOT IN SCOPE		

- ### DEMOLITION NOTES
- CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
 - SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
 - EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.



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8238 SE 7TH ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

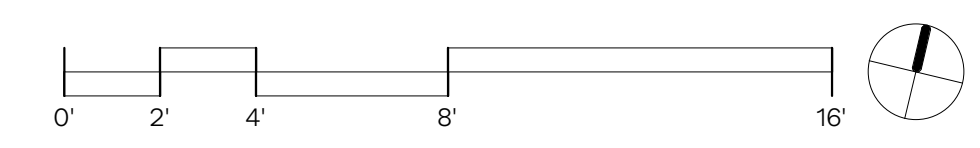
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JURISDICTIONAL #: TBD

REVISION		
1	05.22.2023	REVIEW RESPONSES
A	05.22.2023	PLAN CHANGE

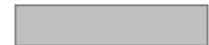
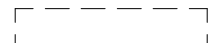


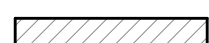
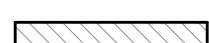
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09.28.2022	SCHEMATIC PRICING
03.09.2023	PERMIT SUBMITTAL

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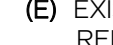
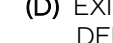
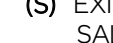
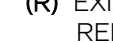
DEMOLITION FIRST FLOOR PLANS
A2.11



WALL KEY

-  EXISTING WALL
-  DEMO WALL
-  NEW WALL
-  NEW CONC WALL
-  ROOF CUT
-  AREAS NOT IN SCOPE

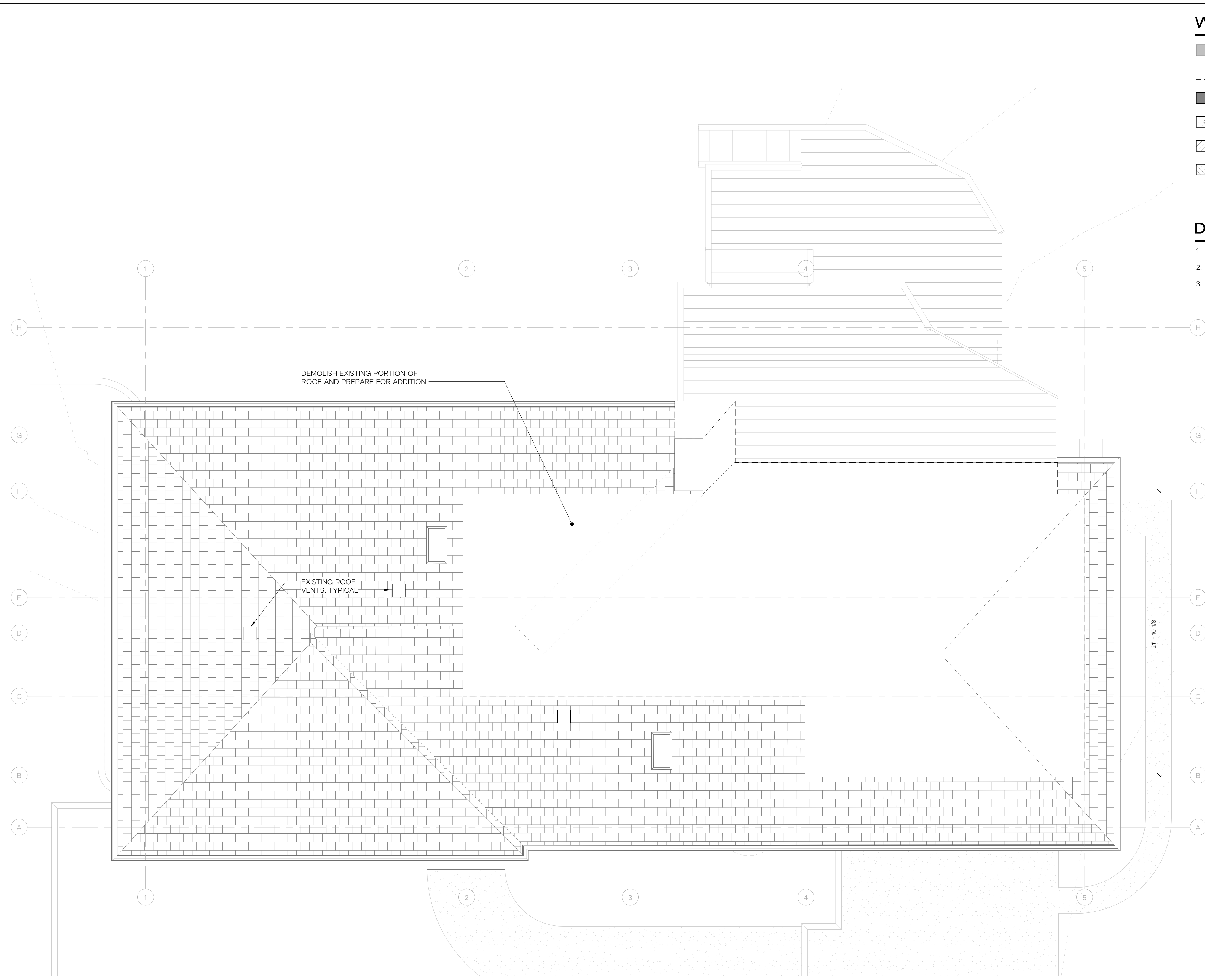
WINDOW / DOOR

-  (E) EXISTING DOOR OR WINDOW TO REMAIN
-  (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
-  (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
-  (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

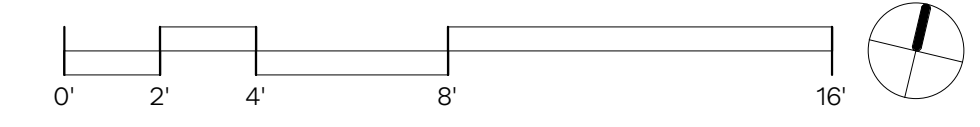


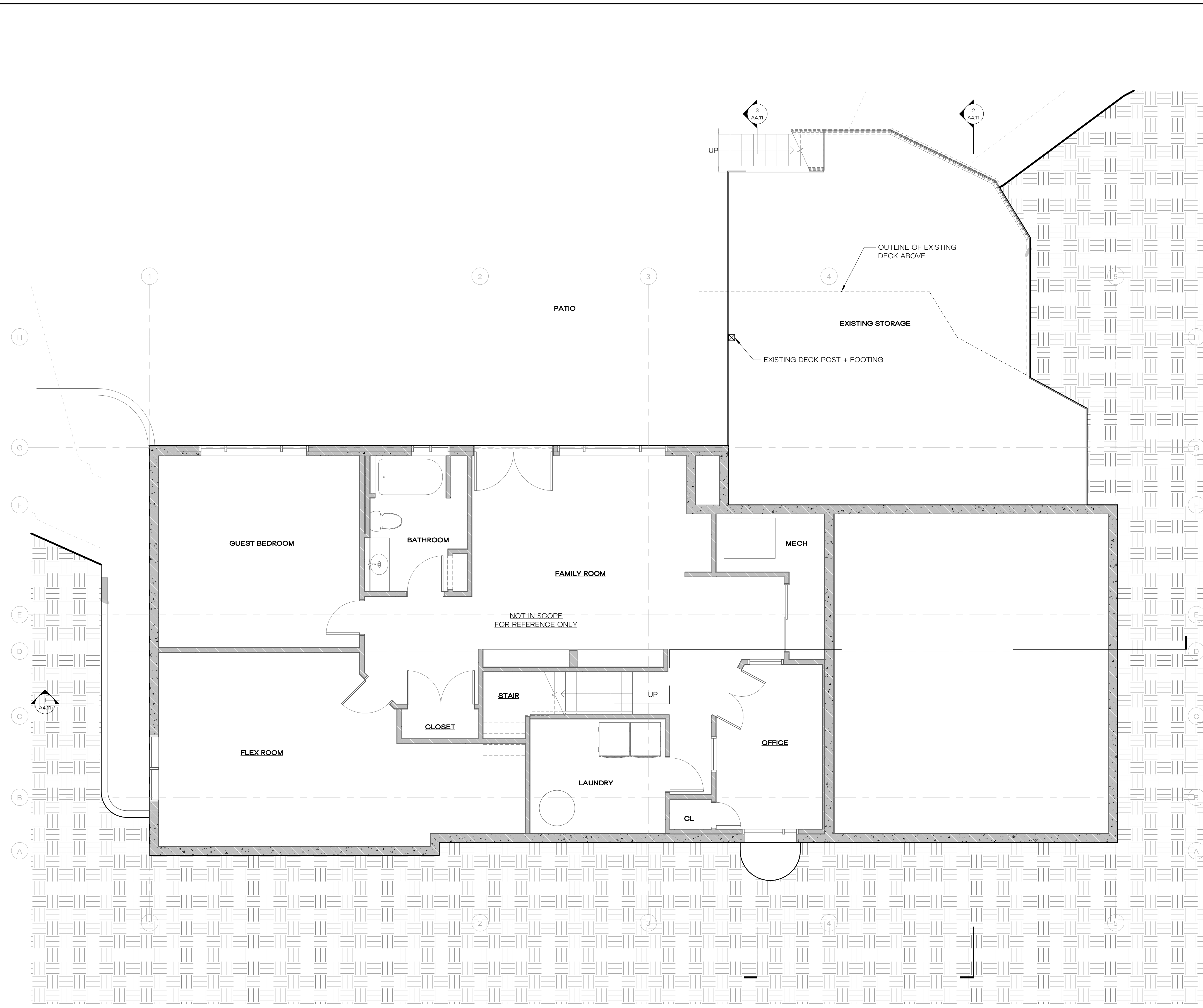
DEMOLITION NOTES

1. CONTRACTOR TO COORDINATE ALL DEMOLITION SPECIFICS WITH OWNER AND ARCHITECT PRIOR TO WORK.
2. SEE WINDOW & DOOR KEY FOR IDENTIFYING EXISTING, SALVAGED, OR REPLACED ELEMENTS.
3. EXISTING EXTERIOR SIDING TO BE PATCHED AND REPAIRED WHERE NEW WORK OCCURS.



1 ROOF - DEMOLITION PLAN
1/4" = 1'-0"





WALL KEY

- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT
- AREAS NOT IN SCOPE

WINDOW / DOOR

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

GENERAL PLAN NOTES

1. SEE SHEET G0.02 FOR PROJECT STANDARDS AND CONTRACT NOTES.
2. SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS.
3. SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE 'W.0' UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
4. SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES.
5. CONTRACTOR TO COORDINATE WITH WINDOW MANUFACTURER FOR SPECIFIC FRAMING REQUIREMENTS.
6. NON-DIMENSIONED DOORS DENOTE ROUGH OPENINGS ARE 4-1/2" (THREE 2x STUDS) OFF STUD FACE OF PERPENDICULAR WALL (TO HINGED SIDE OF THE DOOR) UNLESS NOTED OTHERWISE.
7. NON-DIMENSIONED WALLS MAY ALIGN WITH FACE OF ADJACENT FINISH OR WITH EXISTING STRUCTURE. COORDINATE WITH ARCHITECT.

HERE
ARCHITECTURE + INTERIORS

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HELLO@HEREDESIGN | 206.420.8310

12341 REGISTERED ARCHITECT

K. Louise Rozsonits
KAYSIE LOUISE ROZSONITS
STATE OF WASHINGTON

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ORIGINAL SHEET SIZE IS 22"x34"

KAEMPF RESIDENCE

8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISION

1 05.22.2023 REVIEW RESPONSES

ISSUANCE

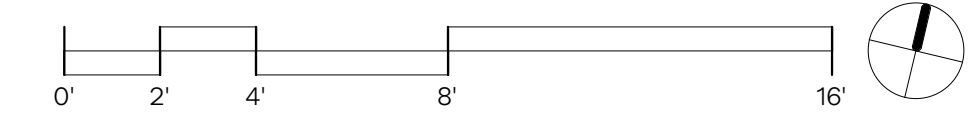
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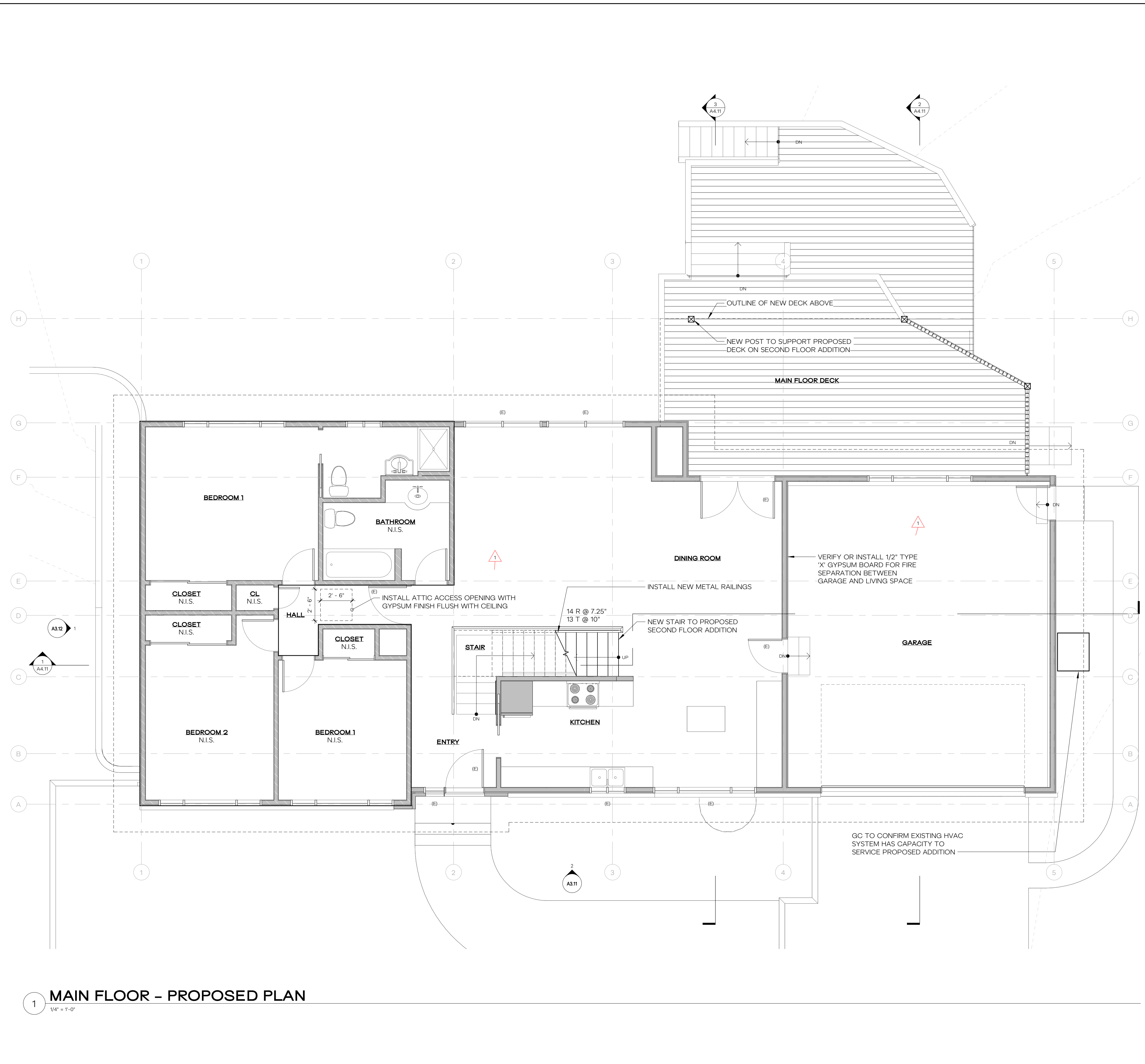
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PROPOSED BASEMENT FLOOR PLAN

A2.21

1 BASEMENT - EXISTING PLAN - FOR REFERENCE ONLY
1/4" = 1'-0"





WALL KEY		WINDOW / DOOR	
	EXISTING WALL		(E) EXISTING DOOR OR WINDOW TO REMAIN
	DEMO WALL		(D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
	NEW WALL		(S) EXISTING DOOR OR WINDOW TO BE SALVAGED
	NEW CONC WALL		(R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE
	ROOF CUT		
	AREAS NOT IN SCOPE		

- ### GENERAL PLAN NOTES
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 - SEE SHEET G1.01 FOR BUILDING AND ENERGY CODE REQUIREMENTS.
 - SEE SHEET A9.01 FOR WALL ASSEMBLIES. ALL INTERIOR WALLS ARE TYPE "W.0" UNLESS NOTED OTHERWISE. PROVIDE SOUND BATT INSULATION AT ALL PLUMBING WALLS AND WALLS ENCLOSING BATHROOMS AND POWDER ROOMS. WALL ASSEMBLIES IDENTIFIED AS INFILL WHERE DEMO HAS OCCURRED SHALL MATCH TYPE OF EXISTING WALL; COORDINATE WITH ARCHITECT FOR SPECIFIC LOCATIONS.
 - SEE SHEET A9.01 FOR DOOR AND WINDOW SCHEDULES.
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KAMPF RESIDENCE

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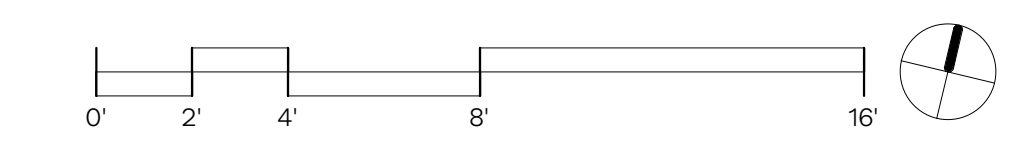
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JURISDICTIONAL #:	TBD
REVISION	
1	05.22.2023 REVIEW RESPONSES

ISSUANCE	
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03.09.2023	PERMIT SUBMITTAL

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PROPOSED FIRST FLOOR PLAN
A2.22

1 MAIN FLOOR - PROPOSED PLAN
1/4" = 1'-0"



REVISION	

WALL KEY

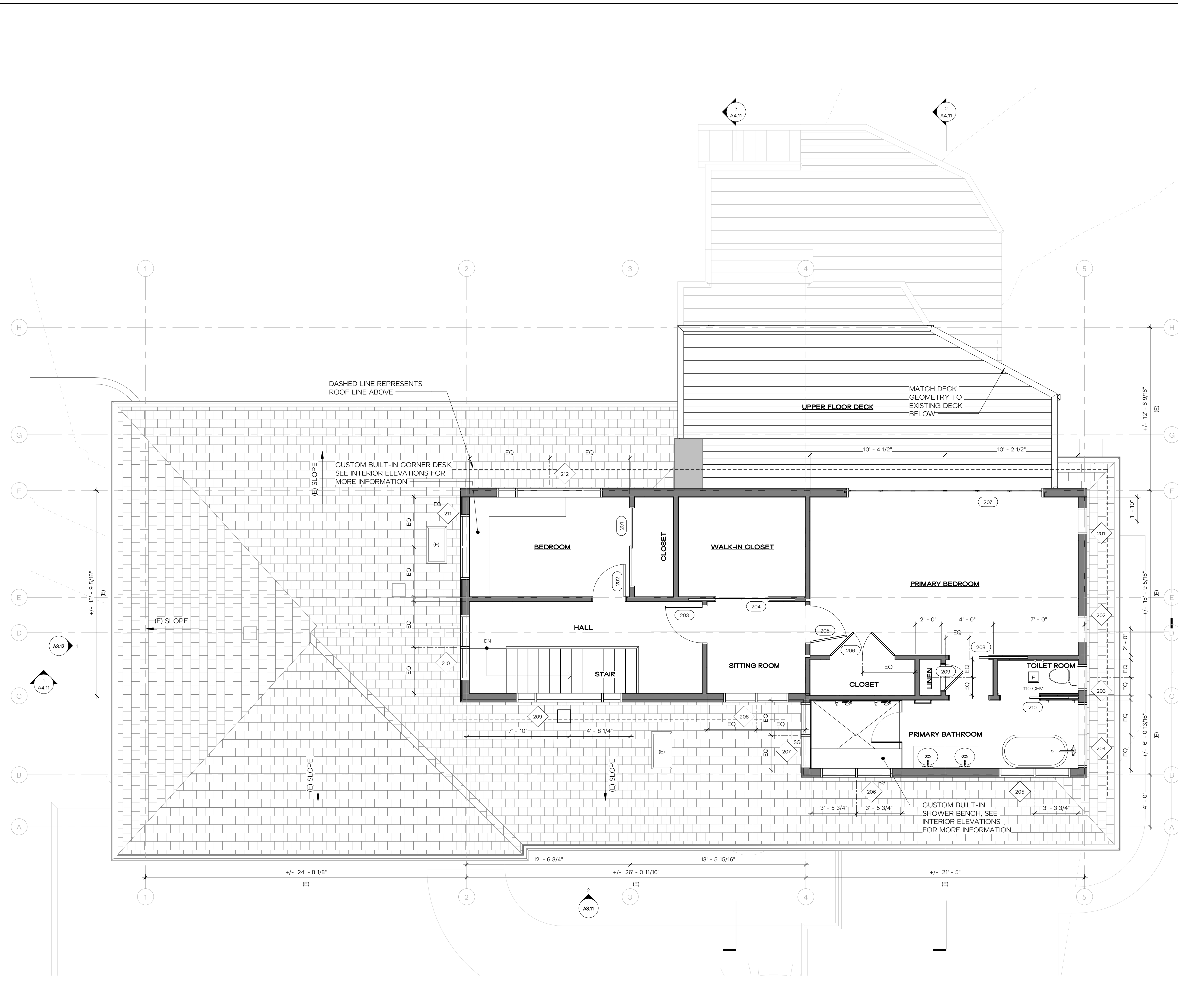
- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT
- AREAS NOT IN SCOPE

WINDOW / DOOR

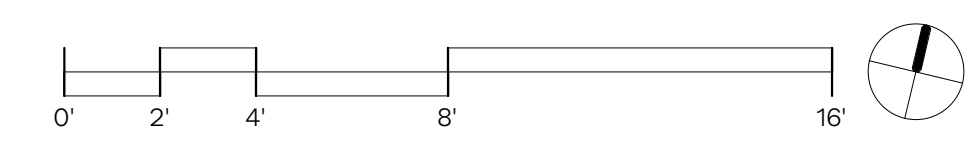
- (E) EXISTING DOOR OR WINDOW TO REMAIN
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- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

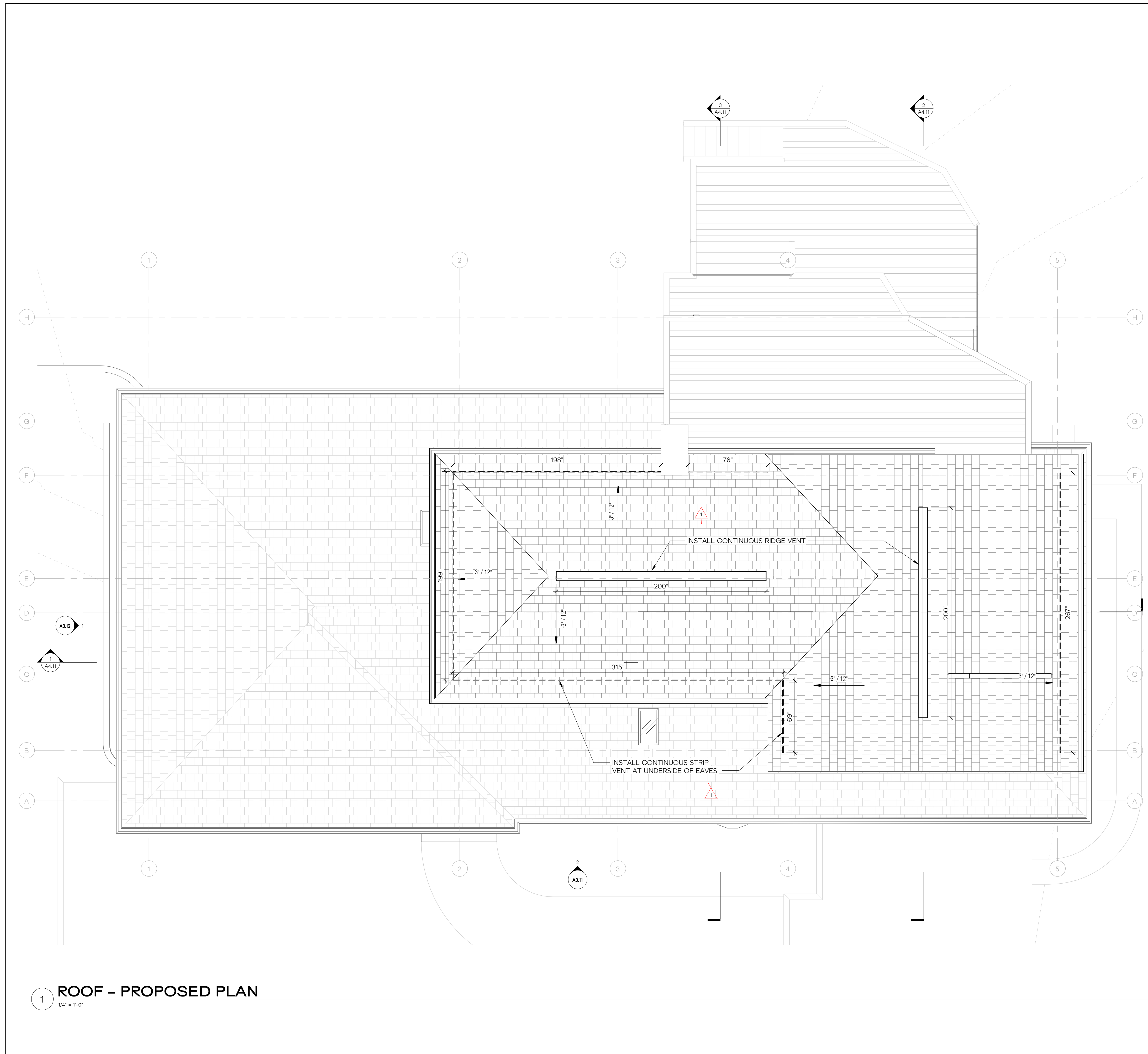
GENERAL PLAN NOTES

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1 SECOND FLOOR - PROPOSED PLAN
1/4" = 1'-0"





WALL KEY

- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT
- AREAS NOT IN SCOPE

WINDOW / DOOR

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (D) EXISTING DOOR OR WINDOW TO BE DEMOLISHED
- (S) EXISTING DOOR OR WINDOW TO BE SALVAGED
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN PLACE

GENERAL PLAN NOTES

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ROOF VENTILATION CALCULATION

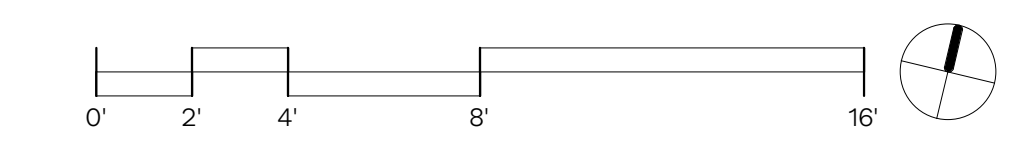
REFERENCE:

- R806.2**
 THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED THAT BOTH OF THE FOLLOWING CONDITIONS ARE MET:
1. IN CLIMATE ZONES 6,7, AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING.
 2. NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATION LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE.

ROOF VENTILATION CALCULATIONS:

VENTED AREA =	921 SF = 11,052 SQ IN
REQUIRED VENTILATION	= 11,052 X 1/150 = 73.68 SQ IN
UPPER VENTILATION ALLOWANCE:	
40% OF VENTING AREA	= 4,421 SQ IN
50% OF VENTING AREA	= 5,526 SQ IN
PROVIDED AREA =	
EAVE =	(10 SQ IN PER LIN. FT) x 1,124' = 11,240 SQ IN
RIDGE =	(13.5 SQ IN PER LIN. FT) x 400' = 5,400 SQ IN

1 ROOF - PROPOSED PLAN
 1/4" = 1'-0"



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 HELLO@HEREDESIGN | 206.420.8310

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KAMPF RESIDENCE
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 JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISION

1	05.22.2023	REVIEW RESPONSES
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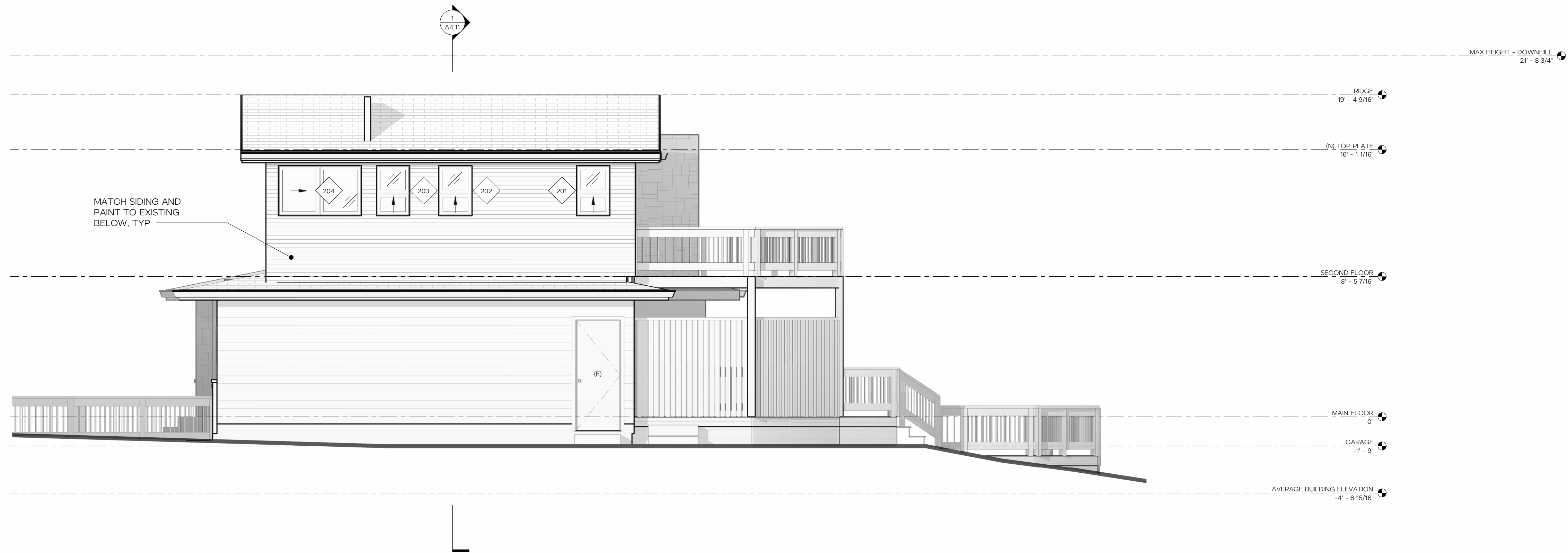
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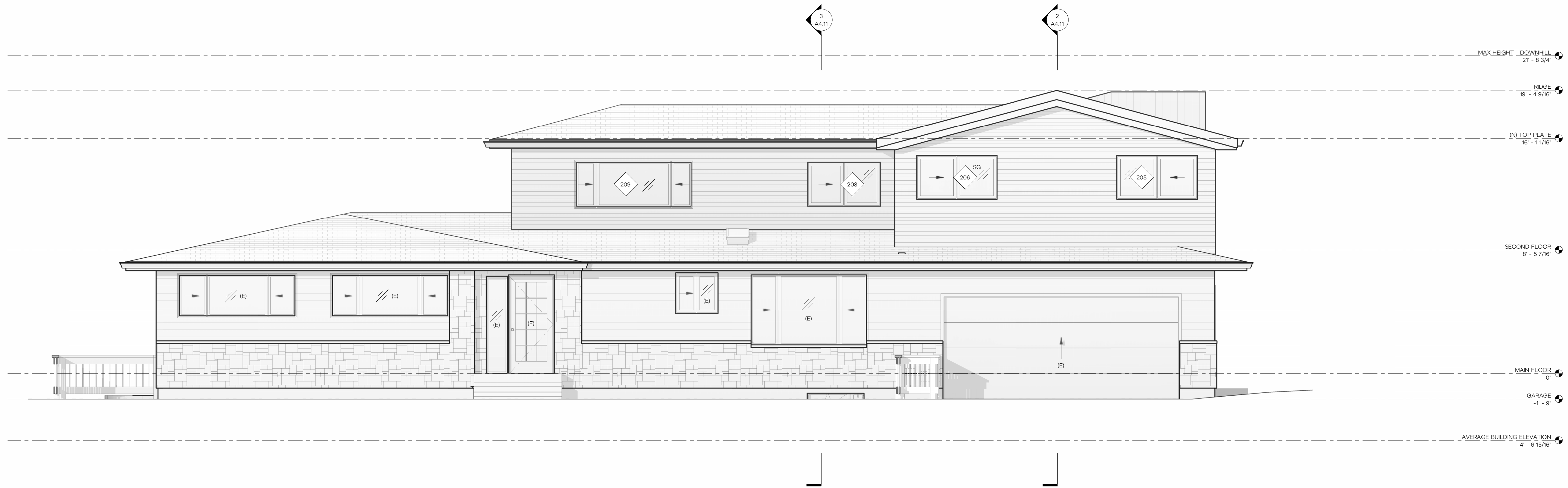
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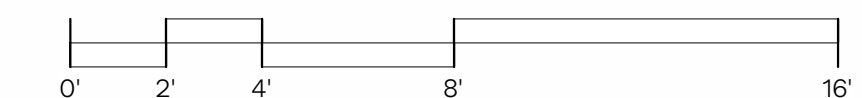
PROPOSED ROOF PLAN
A2.24



1 EAST ELEVATION - PROPOSED
1/4" = 1'-0"



2 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



HERE
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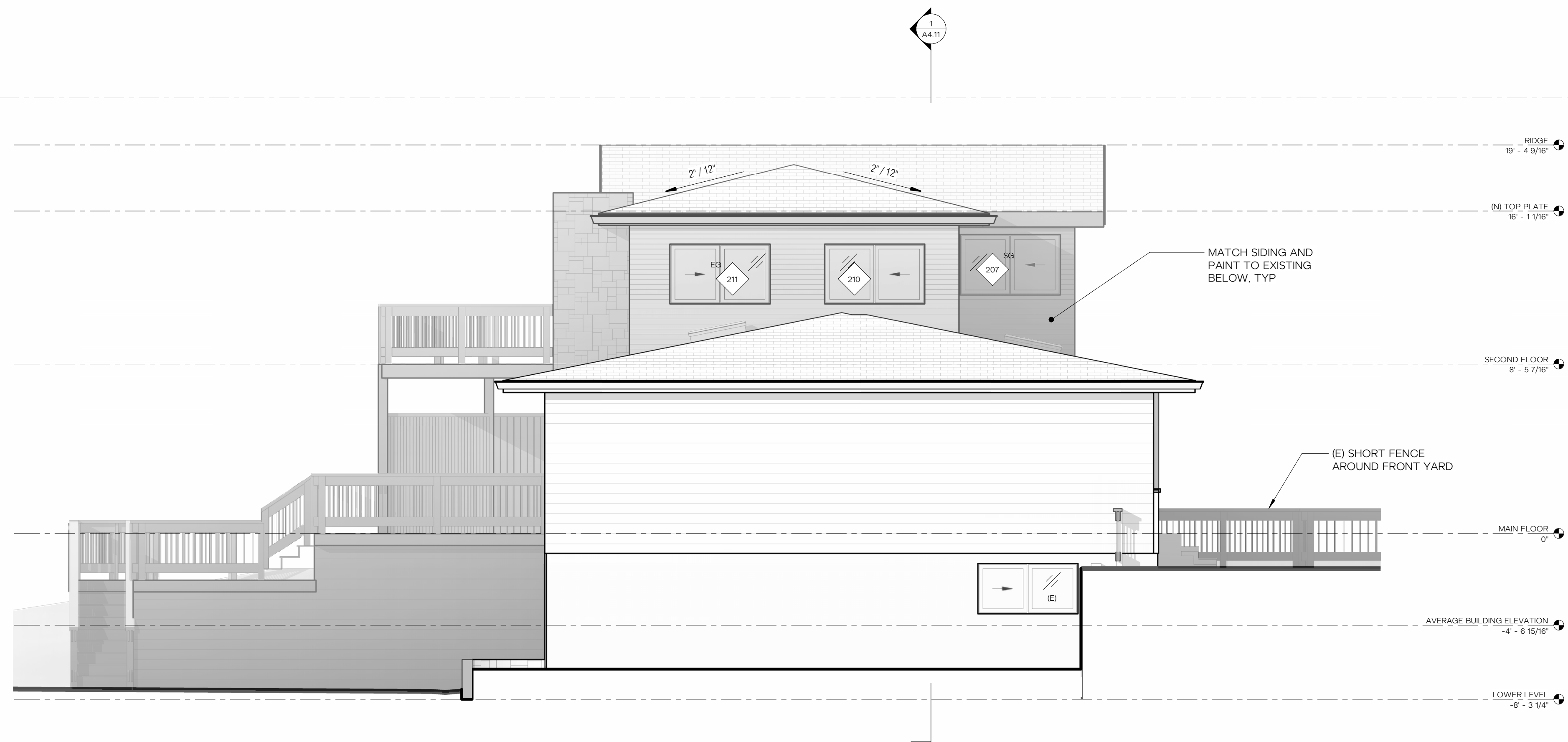
ISSUANCE

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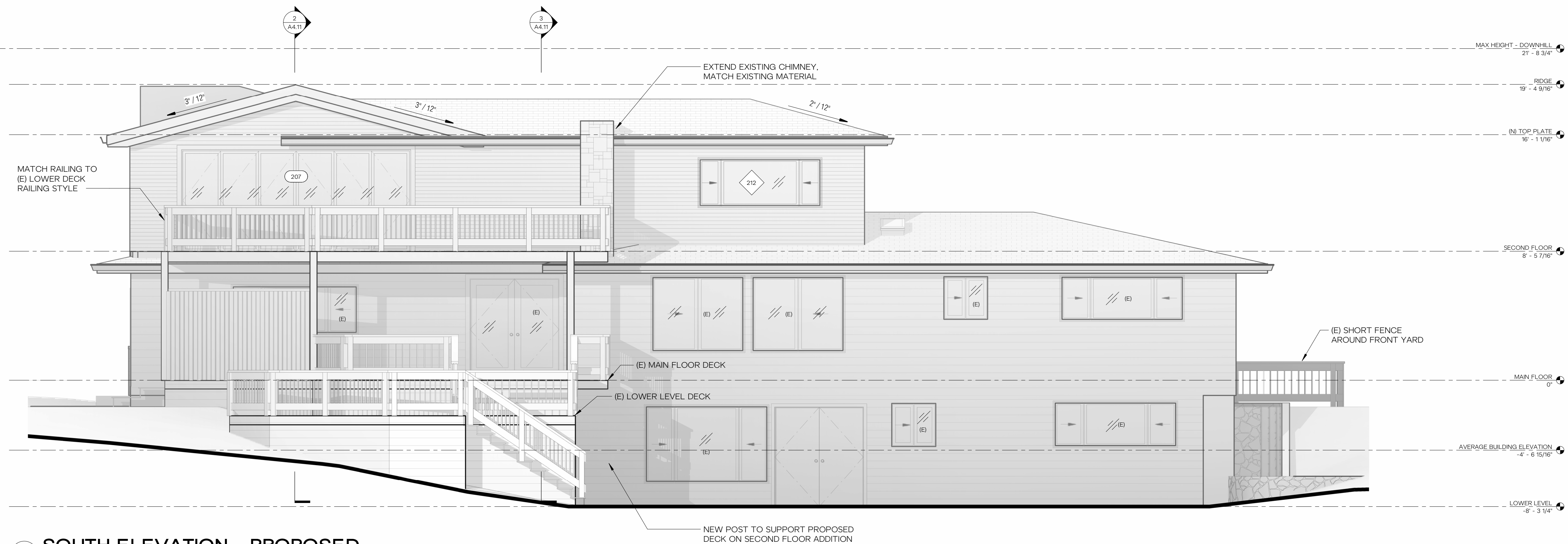
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PROPOSED EXTERIOR ELEVATIONS

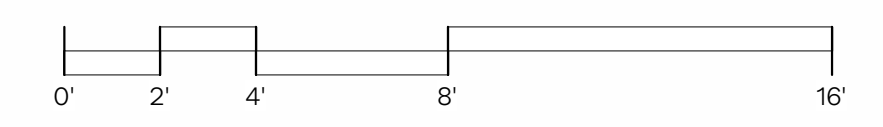
A3.11



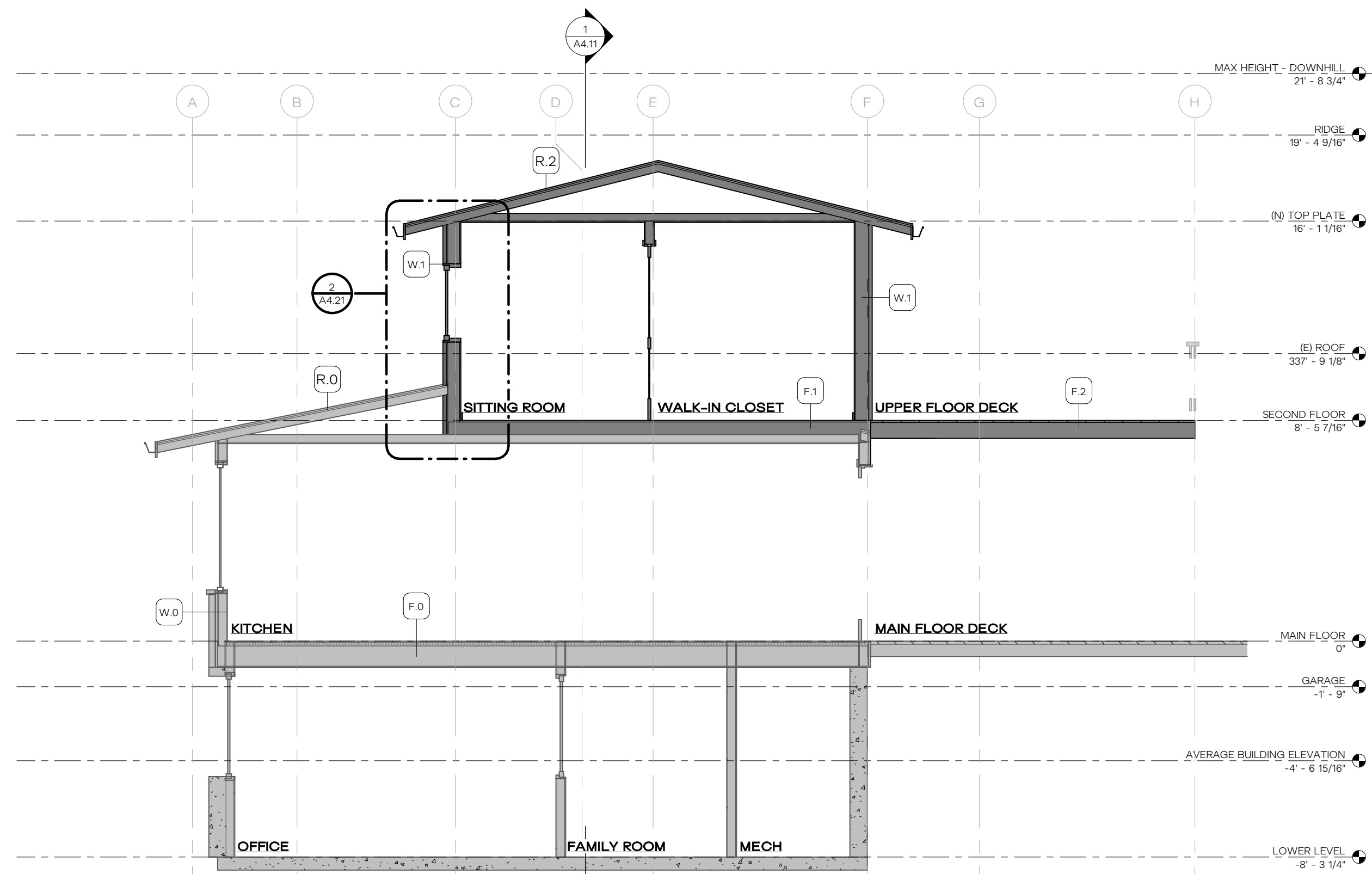
1 WEST ELEVATION - PROPOSED
1/4" = 1'-0"



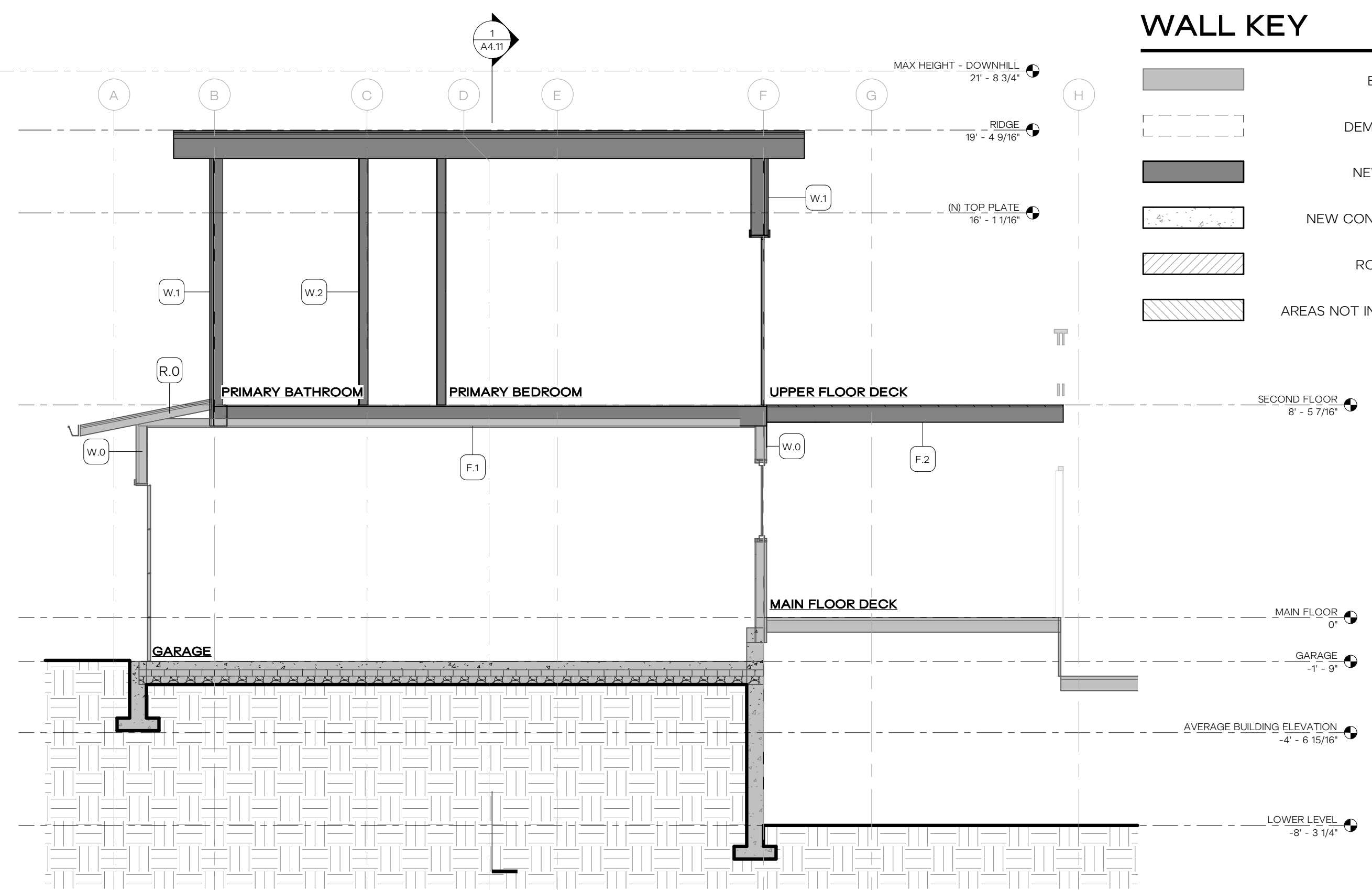
2 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"



REVISION	



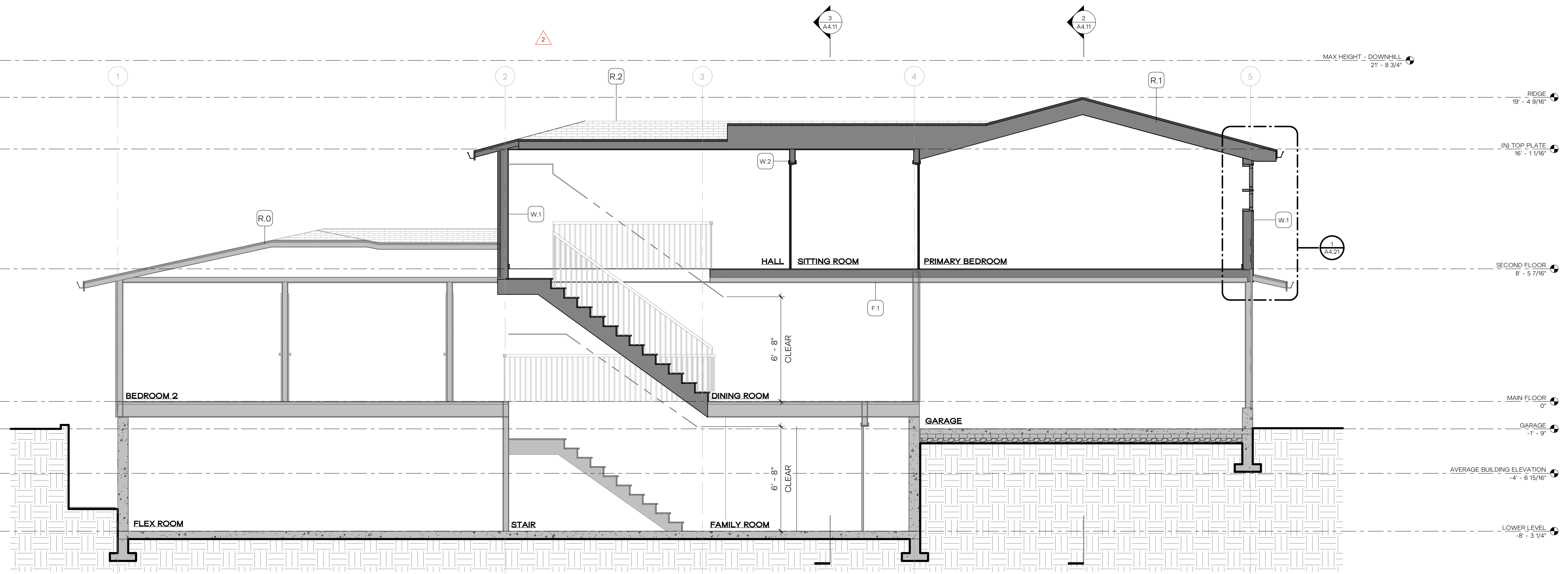
3 NORTH / SOUTH SECTION - LOOKING WEST THROUGH SITTING ROOM
1/4" = 1'-0"



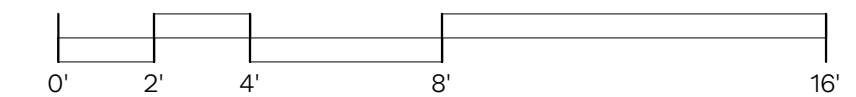
2 NORTH / SOUTH SECTION - LOOKING WEST THROUGH PRIMARY BEDROOM
1/4" = 1'-0"

WALL KEY

- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW CONC WALL
- ROOF CUT
- AREAS NOT IN SCOPE

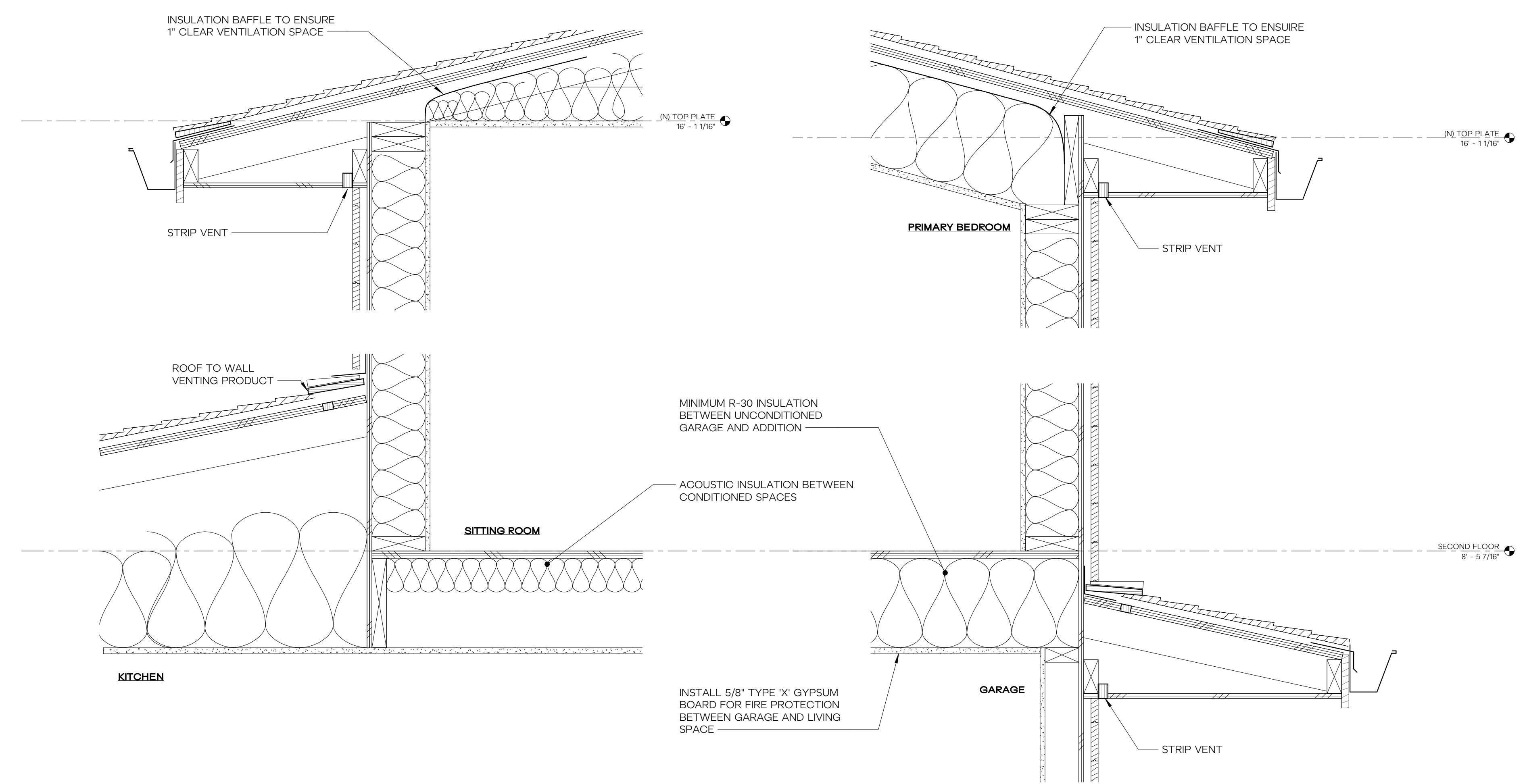


1 EAST / WEST SECTION - LOOKING NORTH
1/4" = 1'-0"



REVISION	

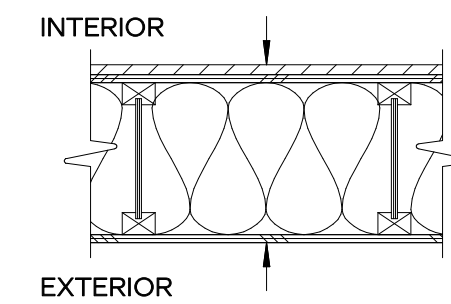
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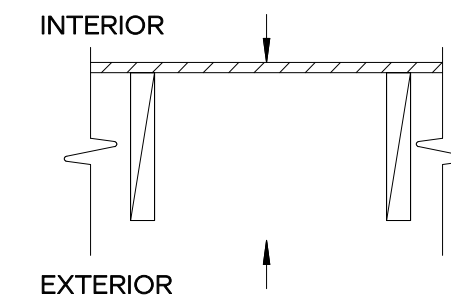
2 WALL AT EXISTING ROOF TO NEW ADDITION
1 1/2" = 1'-0"

1 WALL AT GARAGE AND NEW SECOND FLOOR
1 1/2" = 1'-0"

FLOOR ASSEMBLIES

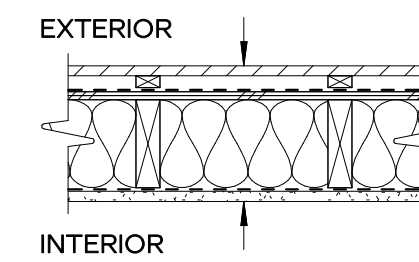


- E.1 - NEW INSULATED FLOOR**
- FINISH PER SPECIFICATION
 - PLYWOOD SUBFLOOR PER STRUCTURAL
 - JOISTS PER STRUCTURAL
 - R-30 BATT INSULATION
 - PLYWOOD SOFFIT

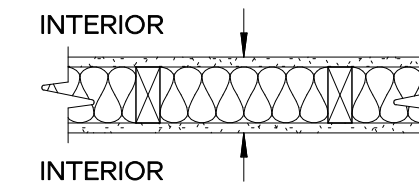


- E.2 - DECK FLOOR**
- DECKING INSTALLED WITH 1/8" SPACES BETWEEN BOARDS
 - JOISTS PER STRUCTURAL

WALL ASSEMBLIES

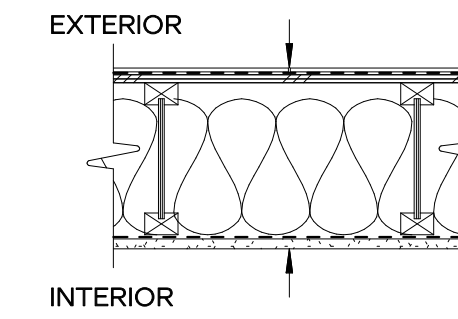


- W.1 - EXTERIOR WALL**
- SIDING PER ELEVATIONS
 - 1X FURRING
 - TYPE III WRB PER SPECIFICATIONS
 - PLYWOOD SHEATHING
 - 2x6 FRAMING
 - R-21 INSULATION PER SPECIFICATIONS
 - AIR & TYPE III VAPOR BARRIER PER SPECIFICATIONS
 - GYPSUM WALL BOARD



- W.2 - NEW INTERIOR WALL**
- FINISH PER SPECIFICATIONS
 - GYPSUM WALL BOARD
 - 2x4 FRAMING, UNO
 - ACOUSTIC INSULATION PER PLANS
 - GYPSUM WALL BOARD
 - FINISH PER SPECIFICATIONS

ROOF ASSEMBLIES



- R.1 VENTED SLOPED ROOF**
- MATCH EXISTING SHINGLES
 - ICE & WATER SHIELD
 - PLYWOOD SHEATHING
 - PREMANUFACTURED TRUSSES
 - 1" VENTILATION GAP
 - INSULATION PER G1.01
 - TYPE II VAPOR BARRIER
 - GYPSUM CEILING BOARD
 - INTERIOR FINISH

WINDOW SCHEDULE

MARK	LOCATION	WIDTH	HEIGHT	GLAZING AREA	Head Height	EXTERIOR	EGRESS	SAFETY GLAZING	U FACTOR	NOTES
201	PRIMARY BEDROOM	2' - 0"	3' - 0"	6 SF	6' - 8"	●			0.00	
202	PRIMARY BEDROOM	2' - 0"	3' - 0"	6 SF	6' - 8"	●			0.00	
203	TOILET ROOM	2' - 0"	3' - 0"	6 SF	6' - 8"	●			0.00	
204	PRIMARY BATHROOM	5' - 0"	3' - 0"	15 SF	6' - 8"	●			0.00	
205	PRIMARY BATHROOM	5' - 6"	3' - 0"	17 SF	3' - 10 7/8"	●			0.00	
206	PRIMARY BATHROOM	5' - 6"	3' - 0"	17 SF	3' - 10 7/8"	●		●	0.00	
207	PRIMARY BATHROOM	5' - 0"	3' - 0"	15 SF	3' - 10 7/8"	●		●	0.00	
208	SITTING ROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	●		●	0.00	
209	HALL	8' - 1 1/2"	3' - 3 1/2"	27 SF	6' - 3 1/2"	●			0.00	
210	HALL	5' - 0"	3' - 0"	15 SF	6' - 0"	●			0.00	
211	BEDROOM	5' - 0"	3' - 0"	15 SF	6' - 0"	●	●		0.00	
212	BEDROOM	8' - 1 1/2"	3' - 3 1/2"	27 SF	6' - 3 1/2"	●			0.00	

WINDOW

1. WINDOW HEAD HEIGHTS MEASURED FROM TOP SHEATHING.
2. WINDOW SCHEDULE INDICATES WINDOW FRAME SIZES. VERIFY WITH ARCHITECT ALL WINDOW SIZES BEFORE FRAMING OPENINGS.
3. PROVIDE WINDOW SUBMITTALS TO ARCHITECT PRIOR TO ORDERING WINDOWS.
4. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS INDICATED OTHERWISE. ADJUST ROUGH OPENING HEIGHTS OR CUT DOWN DOORS AS NECESSARY (CONSULT WITH ARCHITECT AS NECESSARY).
5. SEE PROJECT SPECIFICATIONS FOR WINDOW MANUFACTURER AND OTHER INFORMATION.
6. CONTRACTOR TO ORDER EGRESS WINDOWS WITH PROPER EGRESS HARDWARE WHERE REQUIRED TO MEET CODE REQUIREMENTS.
7. CONTRACTOR TO VERIFY ALL EGRESS WINDOWS ORDERED MEET CURRENT CODE EGRESS REQUIREMENTS.
8. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

A9.0 - DOOR SCHEDULE

MARK	LOCATION	WIDTH	HEIGHT	DOOR	GLAZING AREA	EXTERIOR	U FACTOR	NOTES
				SIZE THICKNES S				
201	BEDROOM	6' - 0"	6' - 8"	1 3/8"				
202	BEDROOM	2' - 6"	6' - 8"	1 3/8"				
203	SITTING ROOM	2' - 10"	6' - 8"	1 3/8"				
204	WALK-IN CLOSET	4' - 0"	6' - 8"	1 3/8"				
205	PRIMARY BEDROOM	2' - 10"	6' - 8"	1 3/8"				
206	PRIMARY BEDROOM	5' - 0"	6' - 8"	1 3/8"				
207	PRIMARY BEDROOM	15' - 0"	6' - 8"	1 3/8"	82 SF	●	0.28	PEL-N-242-02470-00001
208	PRIMARY BEDROOM	3' - 0"	6' - 8"	1 1/2"				
209	LINEN	2' - 0"	6' - 8"	1 3/8"				
210	TOILET ROOM	3' - 0"	6' - 8"	1 1/2"				

DOOR

1. DOOR SCHEDULE INDICATES DOOR PANEL SIZE.
2. VERIFY WITH ARCHITECT ALL DOOR SIZES BEFORE FRAMING OPENINGS.
3. ALL OPERATIONS NOTED ON FLOOR PLANS AND/OR ELEVATIONS. IF A DOOR KEY IS PROVIDED, IT IS FOR CONVENIENCE AND MAY NOT INDICATE ALL THE NECESSARY OPTIONS OF A DOOR.
4. CONTRACTOR TO CONFIRM ACTUAL DOOR SIZES AND ROUGH OPENING SIZES FOR ALL DOORS.
5. PROVIDE DOOR SUBMITTALS TO ARCHITECT PRIOR TO ORDERING DOORS.
6. ALL WINDOW HEADERS & CASINGS SHOULD ALIGN WITH DOOR HEADER CASINGS & TRIMS ON EXTERIOR AND INTERIOR OF BUILDING UNLESS NOTED OTHERWISE.
7. ALL GLAZING IN NEW DOORS TO BE APPROVED SAFETY-GLAZING. CONTRACTOR IS TO VERIFY THAT ALL DOORS REQUIRING SAFETY GLAZING ARE MANUFACTURED AND INSTALLED WITH THE CORRECT GLAZING.
8. SEE PROJECT SPECIFICATIONS FOR DOOR MANUFACTURER AND OTHER INFORMATION.
9. ALL EXTERIOR DOORS AND DOORS TO UNHEATED SPACES SHALL BE FULLY WEATHERSTRIPPED.
10. SEE CONTRACT GENERAL NOTES FOR EXTERIOR GLAZING REQUIREMENTS.

HERE
ARCHITECTURE + INTERIORS

1505 BROADWAY, SEATTLE, WA 98122
HELLO@HEREDESIGN | 206.420.8310

12341 REGISTERED ARCHITECT
KAYSIE LOUISE ROZSONITS
STATE OF WASHINGTON

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ORIGINAL SHEET SIZE IS 22"x34"

KAEMPF RESIDENCE

8238 SE 72ND ST, MERCER ISLAND, WA 98040
JESSICA + JOEY KAEMPF

HERE PROJECT #: 2022015
JURISDICTIONAL #: TBD

REVISION

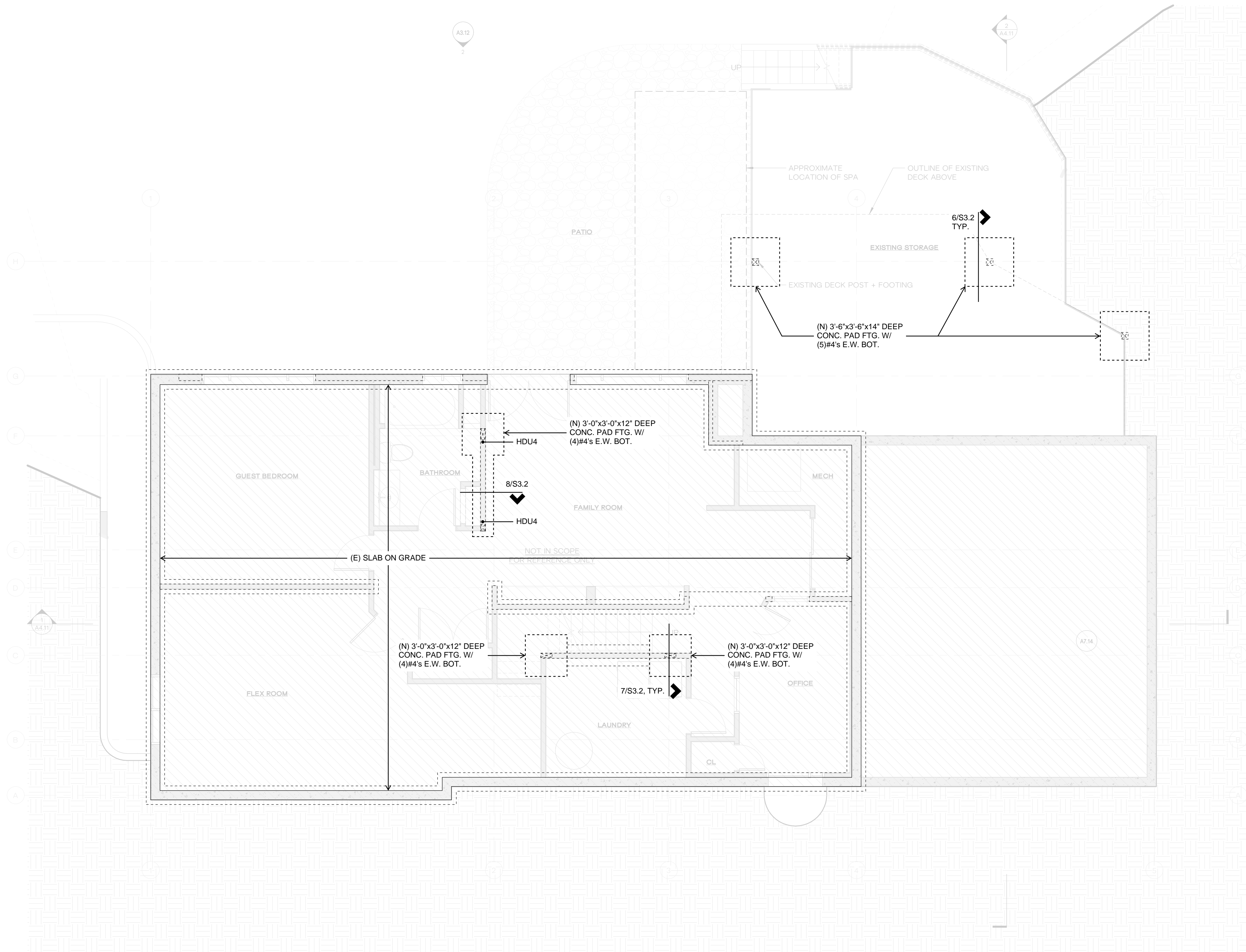
ISSUANCE

09.28.2022 SCHEMATIC PRICING
03.09.2023 PERMIT SUBMITTAL

PLOTTED: 8/8/2023 12:59:30 PM

ASSEMBLIES // SCHEDULES

A9.11



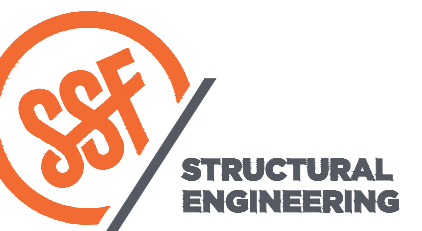
PLAN NOTES

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- VERIFY EXISTING CONTINUOUS CONCRETE FOOTING AROUND THE PERIMETER OF THE EXISTING STRUCTURE.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

LEGEND

- STRUCTURAL WALL OR POST ABOVE
- NEW STEM WALL AND FOOTING
- EXISTING STEM WALL AND FOOTING
- HDUx HOLDOWN PER 3/S4.1

FOUNDATION PLAN



STRUCTURAL ENGINEERING
 SEATTLE
 2124 Third Avenue, Suite 100
 Seattle, WA 98121
 TACOMA
 934 Broadway, Suite 100
 Tacoma, WA 98402
 CENTRAL WASHINGTON
 414 N Pearl Street, Suite 8
 Ellensburg, WA 98926
 206.443.6212
 sseengineers.com
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DESIGN: JDT
 DRAWN: JDT
 CHECKED: JDT
 APPROVED: RJA

REVISIONS:

NO.	DESCRIPTION

DPD:

PROJECT TITLE:
Kaempf Residence
 8238 SE 72nd St
 Mercer Island, WA 98040

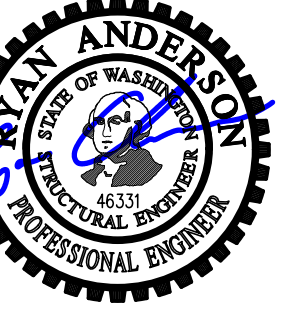
ARCHITECT:
HERE architecture + interiors
 9221 11th Ave SW
 Seattle, WA 98106
 PH 425.830.2360
 www.here.design

ISSUE:
Permit

SHEET TITLE:
Foundation Plan

SCALE: 1/4" = 1'-0" U.N.O.
 DATE: February 22, 2023
 PROJECT NO: 13021-2022-03
 SHEET NO:

S2.1



DESIGN: JDT
 DRAWN: JDT
 CHECKED: JDT
 APPROVED: RJA

REVISIONS:
 1 Permit Corrections August 8, 2023

DPD:

PROJECT TITLE:
Kaempf Residence
 8238 SE 72nd St
 Mercer Island, WA 98040

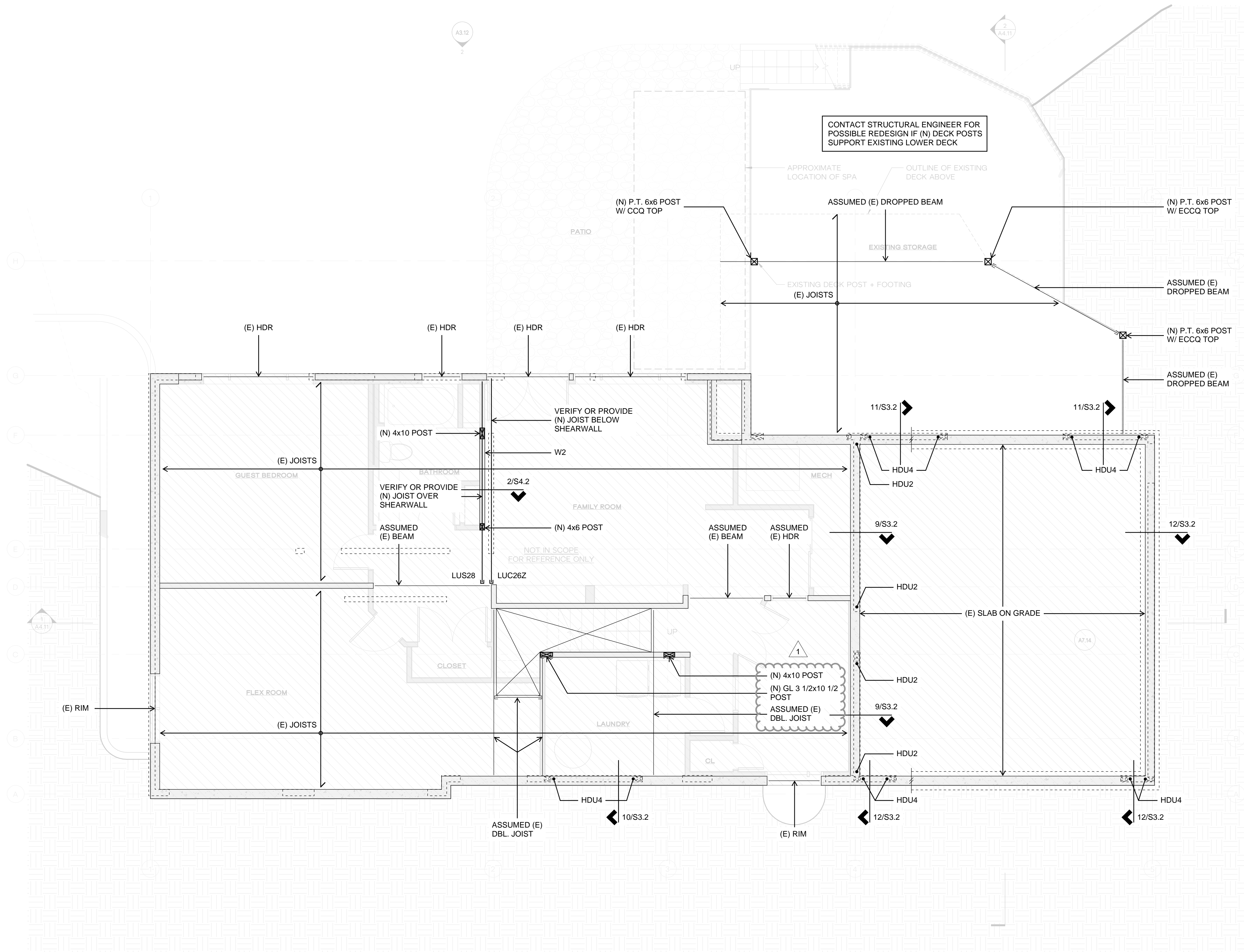
ARCHITECT:
HERE architecture + interiors
 9221 11th Ave SW
 Seattle, WA 98106
 PH 425.830.2360
 www.here.design

ISSUE:
Permit

SHEET TITLE:
First Floor Framing Plan

SCALE: 1/4" = 1'-0" U.N.O.
 DATE: February 22, 2023
 PROJECT NO: 13021-2022-03
 SHEET NO:

S2.2



PLAN NOTES

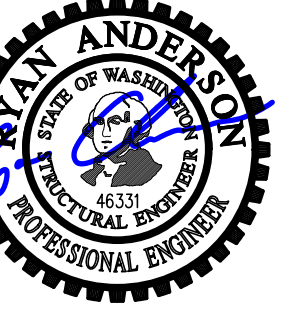
1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. W # INDICATES NEW SHEAR WALL. SEE 8/S4.1 AND 12/S4.1 FOR CONSTRUCTION REQUIREMENTS.
3. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
4. VERIFY EXISTING CONTINUOUS CONCRETE FOOTING AROUND THE PERIMETER OF THE EXISTING STRUCTURE.
5. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

LEGEND

- NEW STRUCTURAL WALL OR POST BELOW
- EXISTING STRUCTURAL WALL OR POST BELOW
- STRUCTURAL WALL OR POST ABOVE
- EXISTING STEM WALL AND FOOTING
- SPAN DIRECTION
- EXTENT OF FRAMING
- EXISTING HEADER OR BEAM
- NEW HEADER OR BEAM
- Wx SHEARWALL PER 8/S4.1 AND 12/S4.1
- HDUx HOLDOWN PER 3/S4.1
- c HANGER

FIRST FLOOR FRAMING PLAN





DESIGN: JDT
DRAWN: JDT
CHECKED: JDT
APPROVED: RJA

REVISIONS:
1 Permit Corrections August 8, 2023

DPD:

PROJECT TITLE:
Kaempfer Residence
8238 SE 72nd St
Mercer Island, WA 98040

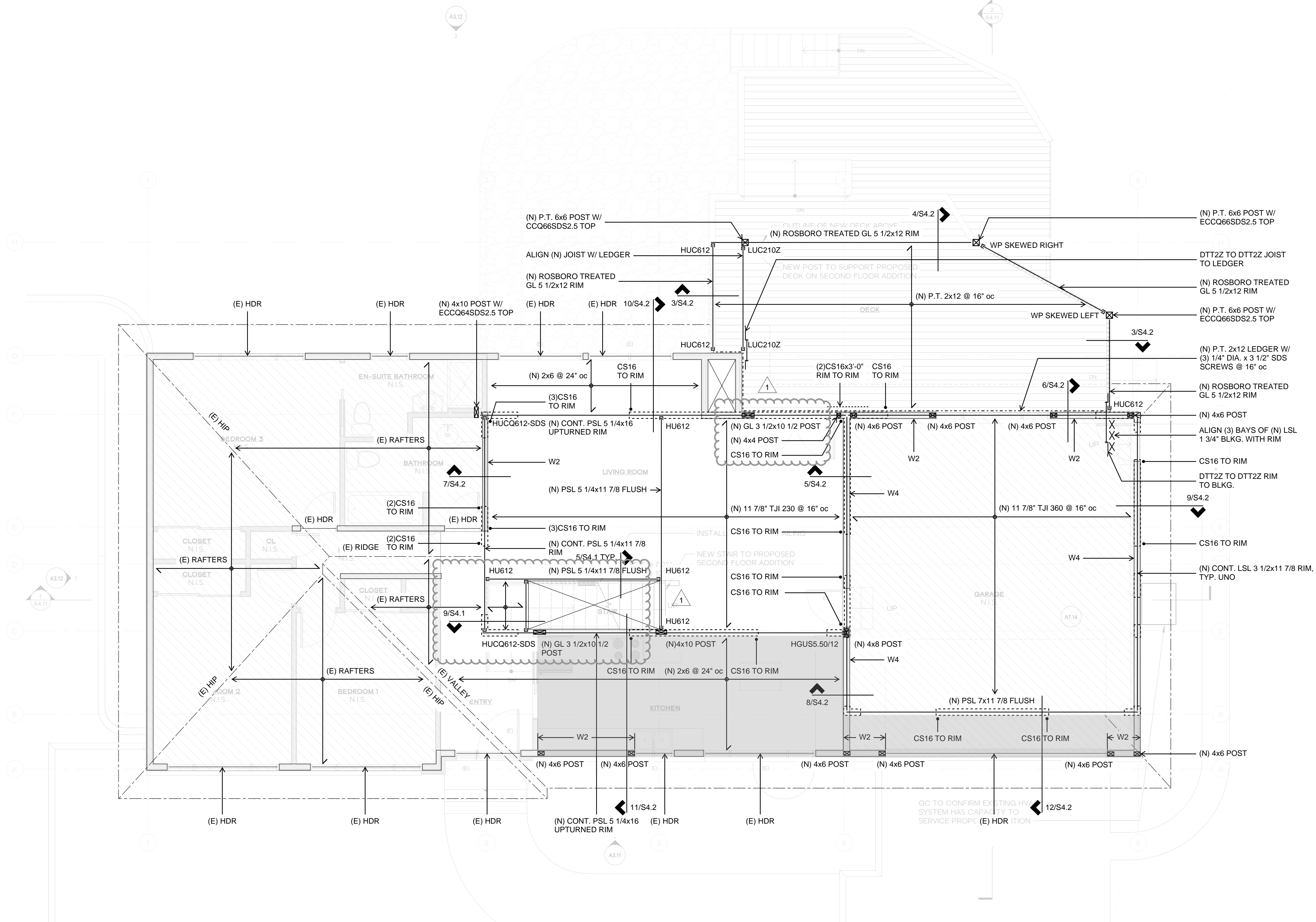
ARCHITECT:
HERE architecture + interiors
9221 11th Ave SW
Seattle, WA 98106
PH 425.830.2360
www.here.design

ISSUE:
Permit

SHEET TITLE:
Second Floor & Low Roof Framing Plan

SCALE: 1/4" = 1'-0" U.N.O.
DATE: February 22, 2023
PROJECT NO: 13021-2022-03
SHEET NO:

S2.3



PLAN NOTES

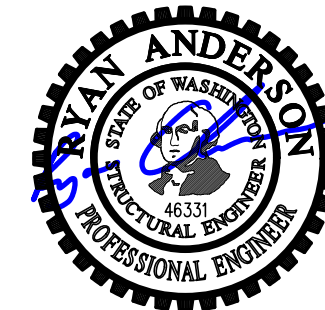
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- NEW FLOOR SHEATHING SHALL BE 3/4" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). FACE GRAIN PERPENDICULAR TO FLOOR FRAMING. NAIL AT ALL FRAMED PANEL EDGES WITH 8D AT 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
- NEW FLOOR JOISTS SHALL BE 11 7/8" TJI 230 AT 16" O.C UNLESS NOTED OTHERWISE ON PLANS.
- PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
- W # INDICATES NEW SHEAR WALL. SEE 8/S4.1 AND 12/S4.1 FOR CONSTRUCTION REQUIREMENTS.
- MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

LEGEND

- | | | | |
|--|--|--|---|
| | NEW STRUCTURAL WALL OR POST BELOW | | HOLDOWN STRAP PER 4/S4.1 |
| | EXISTING STRUCTURAL WALL OR POST BELOW | | HANGER |
| | STRUCTURAL WALL OR POST ABOVE | | BLOCKED FLOOR SHEATHING: PROVIDE 2x4 FLAT BLOCKING AT ALL UNFRAMED PANEL EDGES. NAIL AT ALL FRAMED PANEL EDGES WITH 8D AT 4" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C. |
| | SPAN DIRECTION | | |
| | EXTENT OF FRAMING | | |
| | EXISTING HEADER OR BEAM | | |
| | NEW HEADER OR BEAM | | |
| | Wx SHEARWALL PER 8/S4.1 AND 12/S4.1 | | |

SECOND FLOOR AND LOW ROOF FRAMING PLAN





DESIGN:	JDT
DRAWN:	JDT
CHECKED:	JDT
APPROVED:	RJA

NO.	REVISIONS:

DPD:

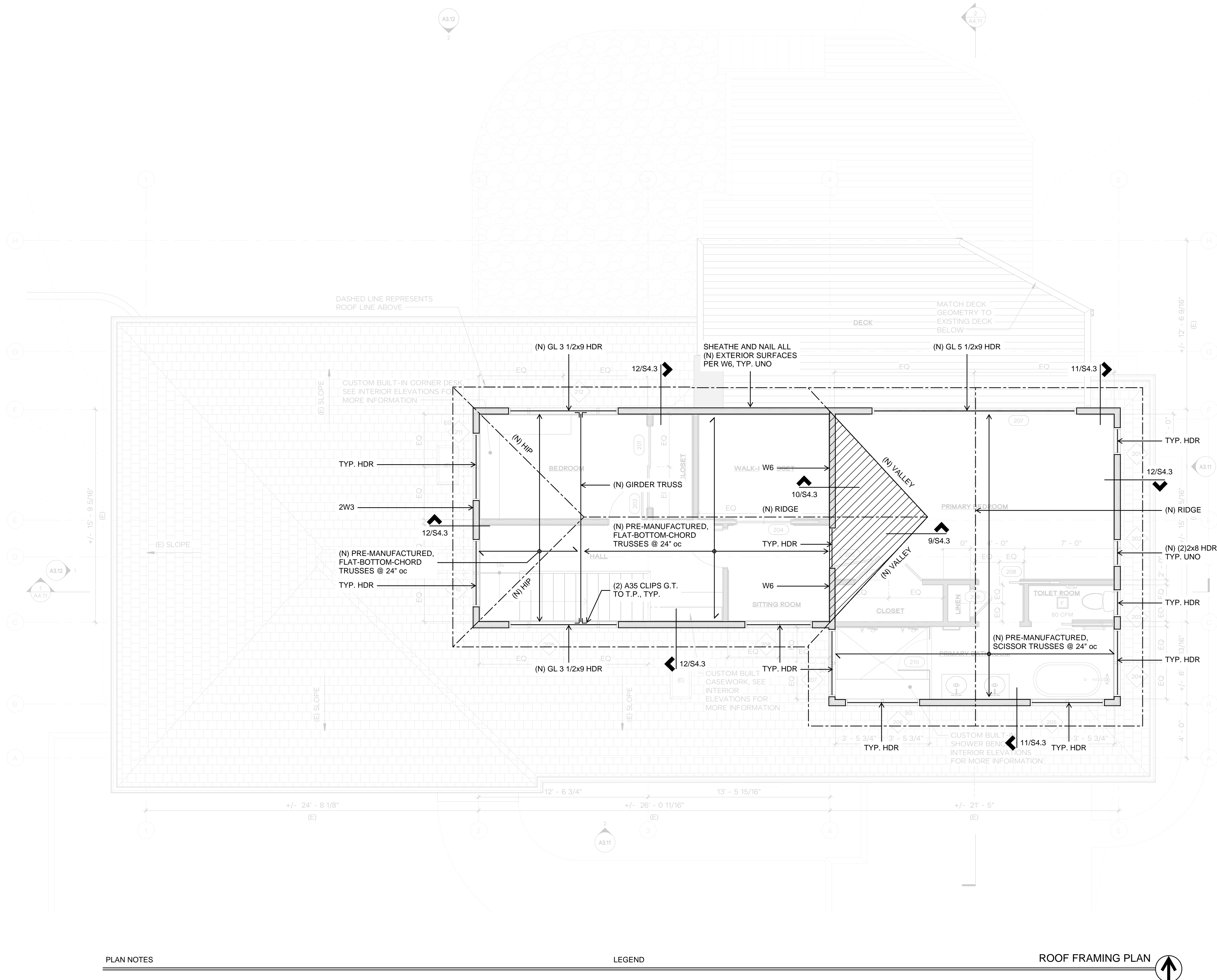
PROJECT TITLE:
Kaempf Residence
8238 SE 72nd St
Mercer Island, WA 98040

ARCHITECT:
HERE architecture + interiors
9221 11th Ave SW
Seattle, WA 98106
PH 425.830.2360
www.here.design

ISSUE:
Permit
SHEET TITLE:

Roof Framing Plan

SCALE: 1/4" = 1'-0" U.N.O.
DATE: February 22, 2023
PROJECT NO: 13021-2022-03
SHEET NO:



PLAN NOTES

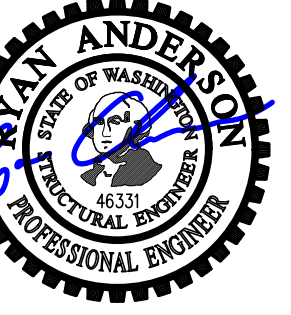
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- NEW ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO ROOF FRAMING. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8D AT 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
- NEW ROOF FRAMING SHALL BE PREFABRICATED ROOF TRUSSES AT 24" O.C. TRUSS DESIGN TO BE PROVIDED BY OTHERS. SEE STRUCTURAL NOTES FOR DESIGN REQUIREMENTS.
- NEW HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2)2x8 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 6/S4.1 FOR TYPICAL INSTALLATION.
- PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL NEW BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
- W # INDICATES NEW SHEAR WALL. SEE 8/S4.1 AND 12/S4.1 FOR CONSTRUCTION REQUIREMENTS.
- ALL NEW EXTERIOR SURFACES SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
- PROVIDE H1 HURRICANE TIE AT EACH NEW TRUSS WHERE IT BEARS ON EXTERIOR WALL.
- MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- SPlice ALL NEW TOP PLATE SPLICES PER DETAIL 10/S4.1.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

LEGEND

- | | |
|--|-------------------------------------|
| | NEW STRUCTURAL WALL OR POST BELOW |
| | SPAN DIRECTION |
| | EXTENT OF FRAMING |
| | NEW HEADER OR BEAM |
| | Wx SHEARWALL PER 8/S4.1 AND 12/S4.1 |
| | NEW 2x6 OVERFRAMING AT 24" oc |

ROOF FRAMING PLAN





DESIGN: JDT
 DRAWN: JDT
 CHECKED: JDT
 APPROVED: RJA

REVISIONS:

DPD:

PROJECT TITLE:

Kaempff Residence
 8238 SE 72nd St
 Mercer Island, WA 98040

ARCHITECT:

HERE architecture + interiors
 9221 11th Ave SW
 Seattle, WA 98106
 PH 425.830.2360
 www.here.design

ISSUE:

Permit

SHEET TITLE:

Concrete Details

SCALE:

3/4" = 1'-0" U.N.O.

DATE:

February 22, 2023

PROJECT NO:

13021-2022-03

SHEET NO:

S3.2

1

2

3

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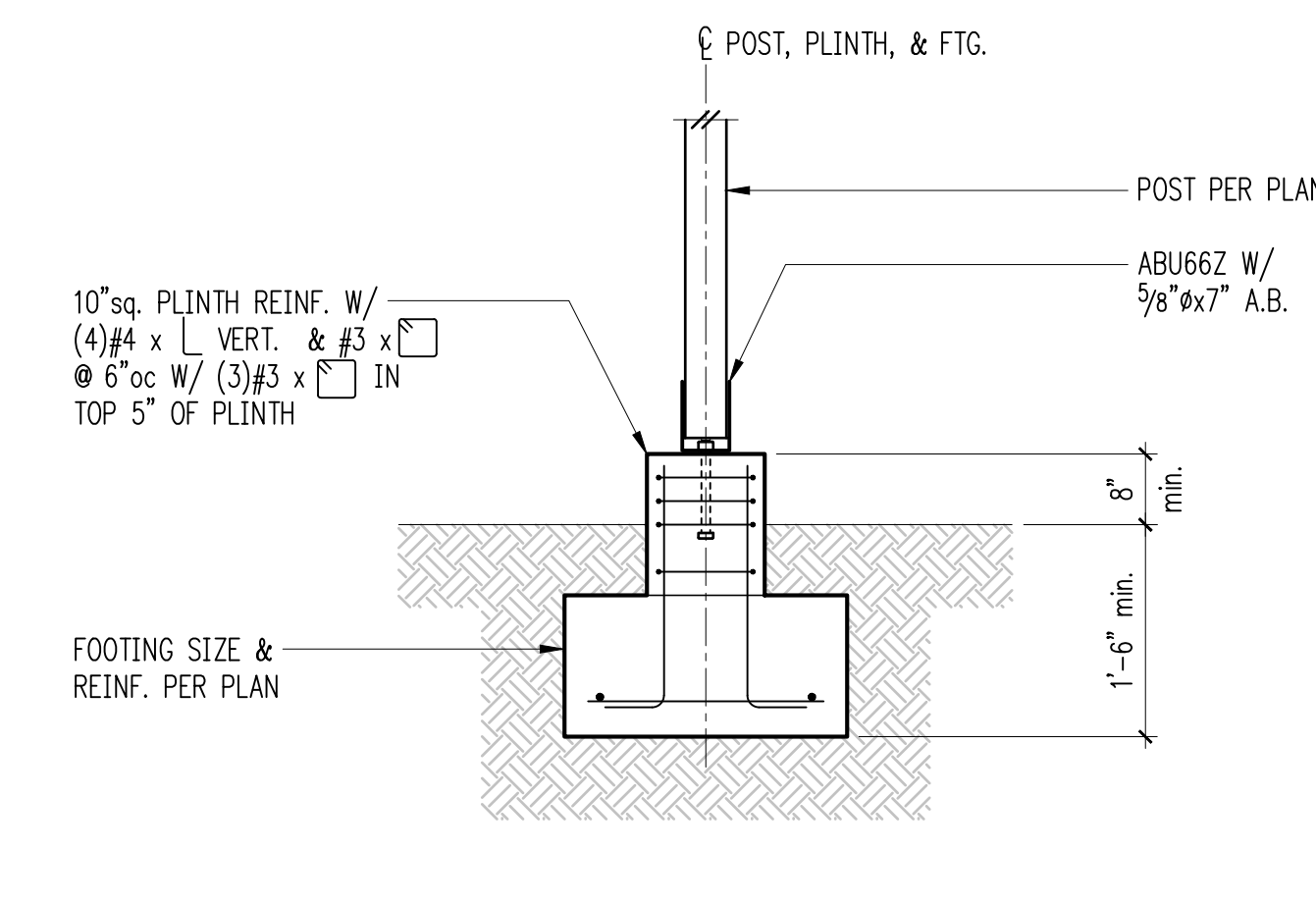
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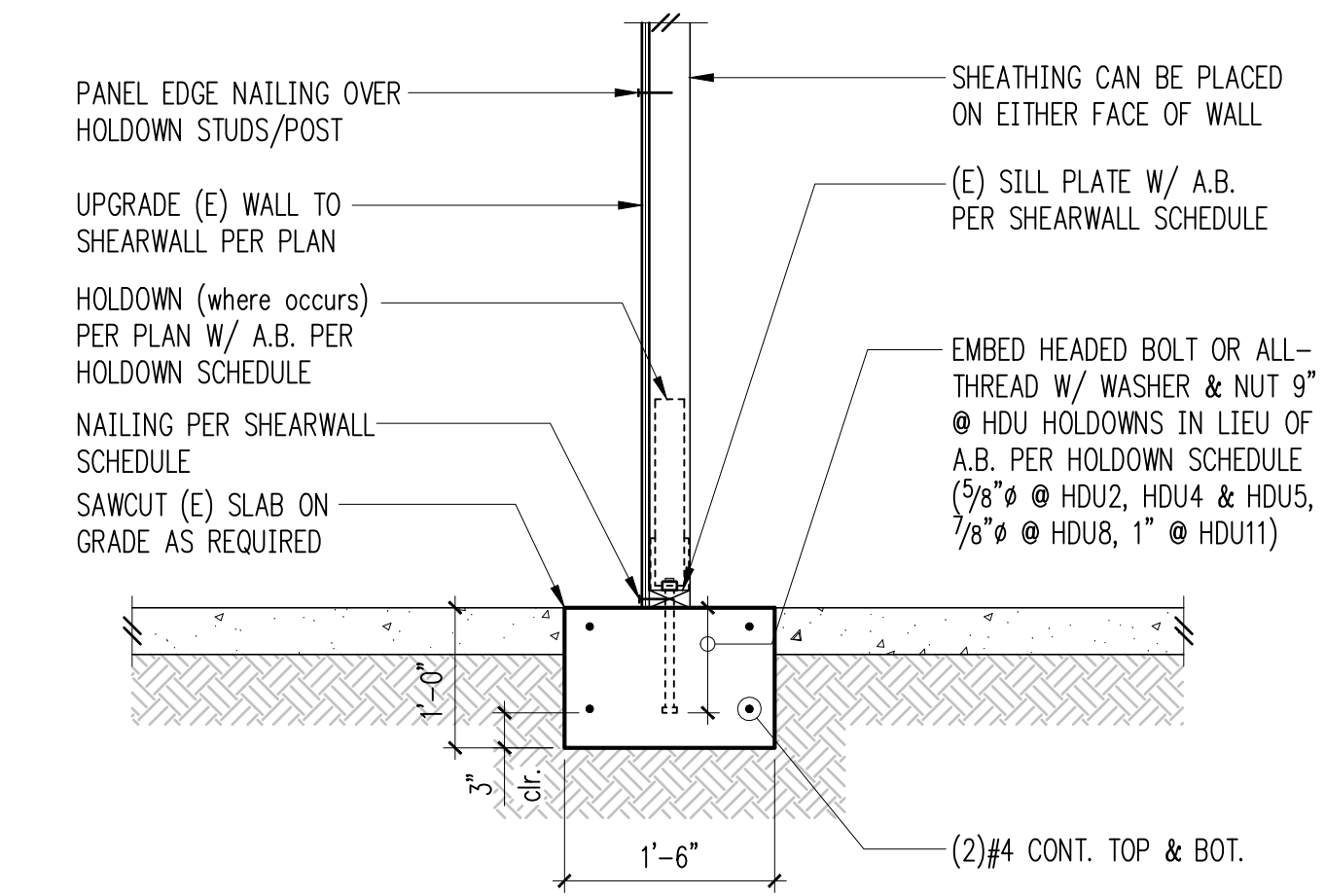
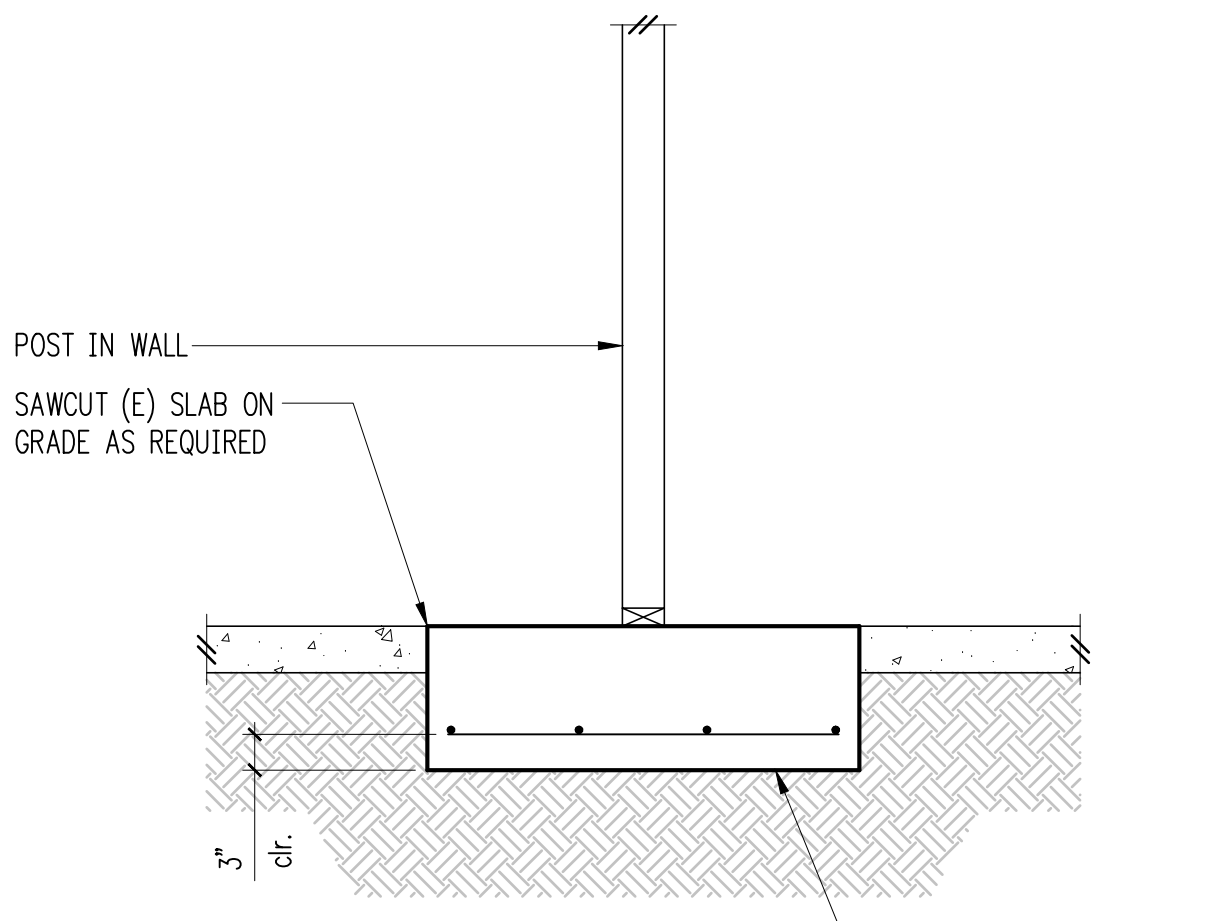
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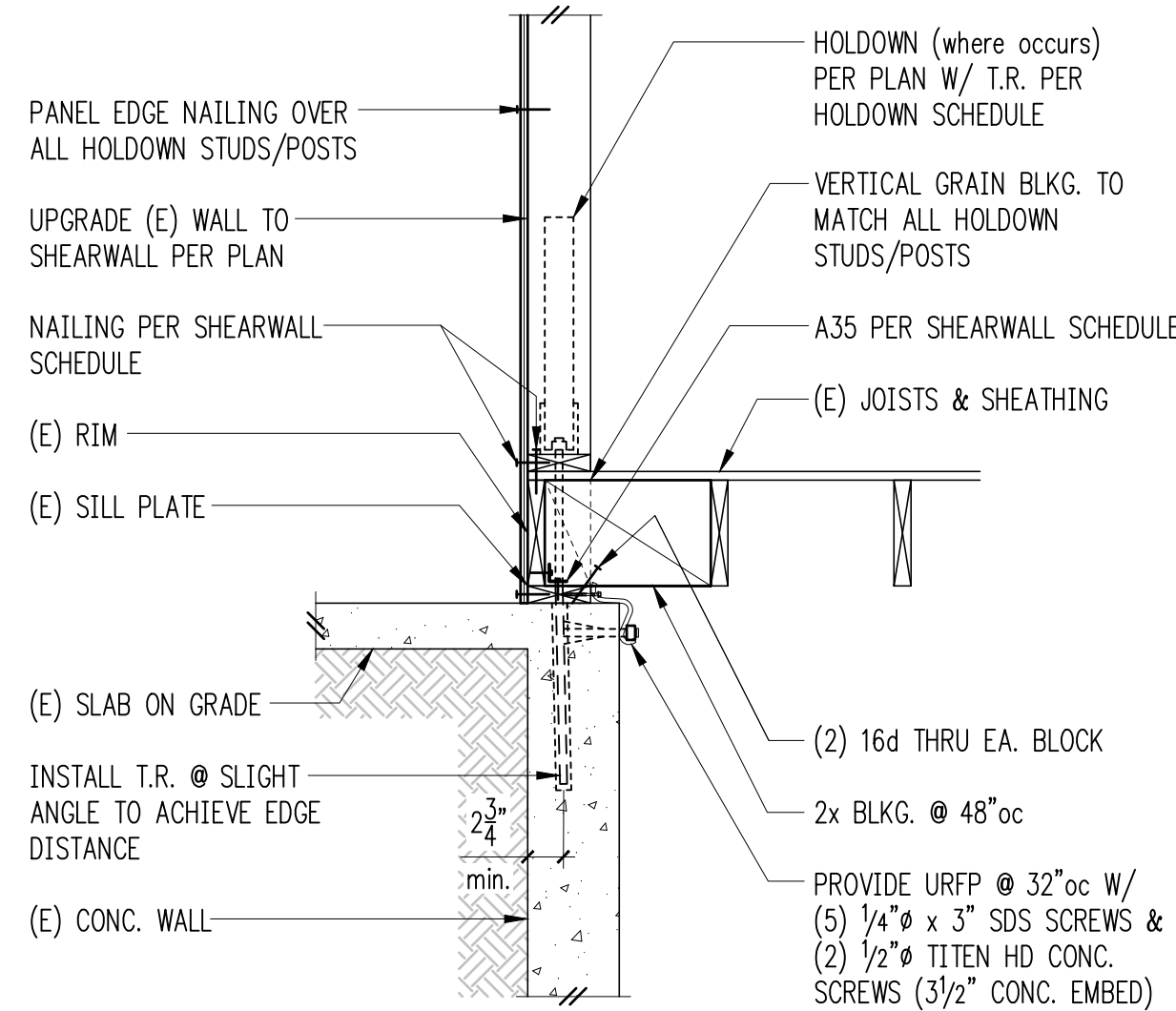
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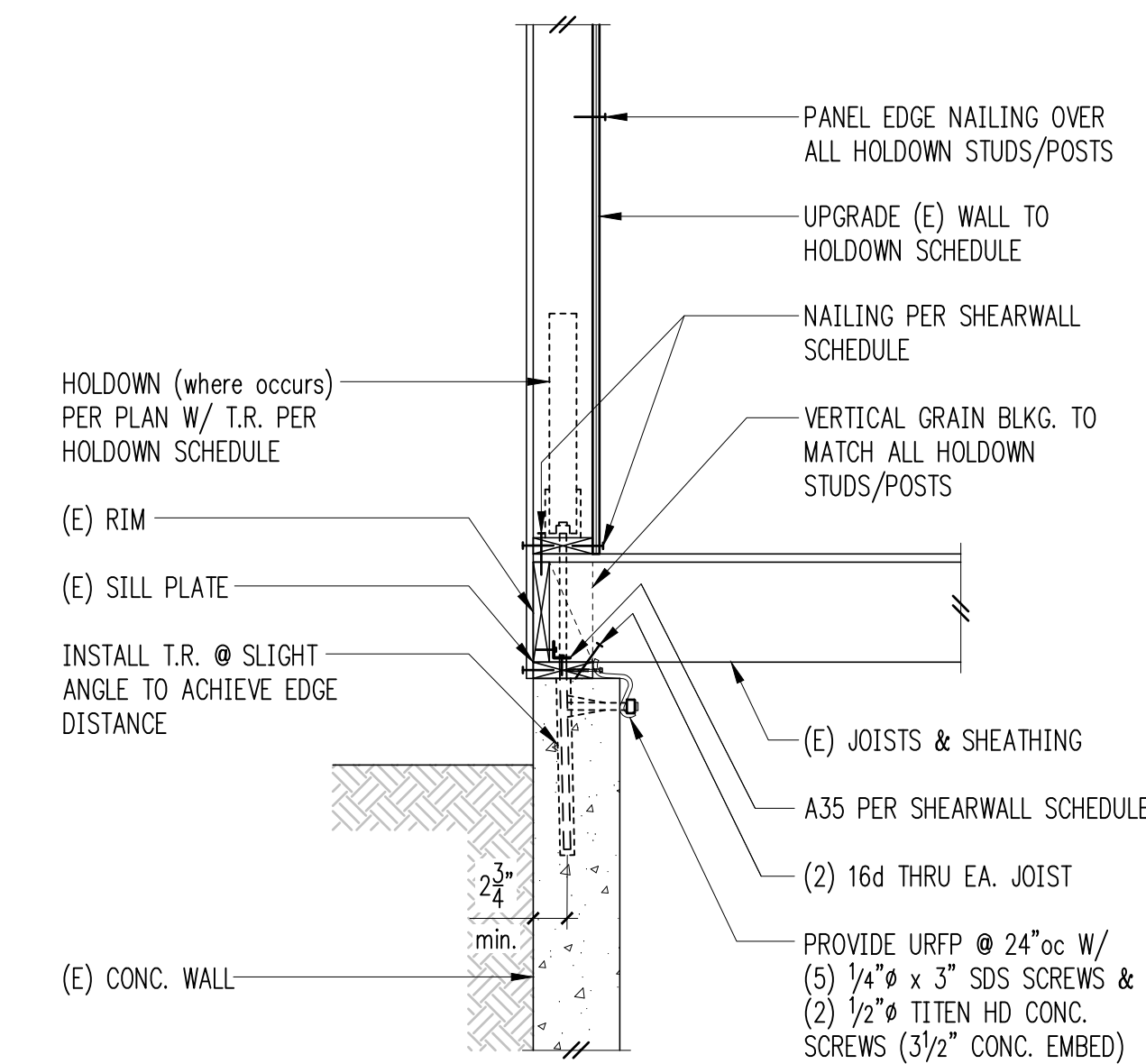
• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



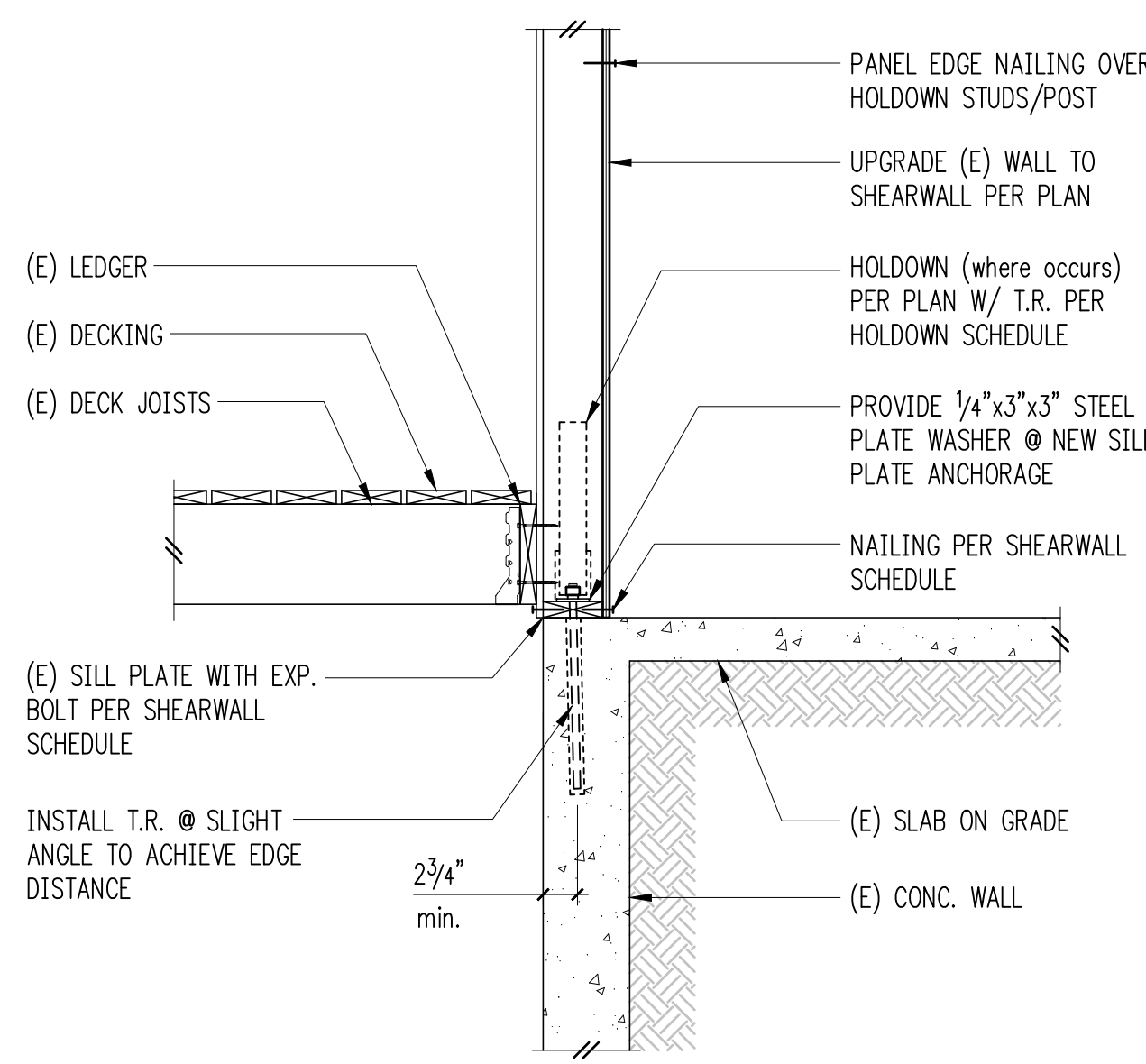
• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



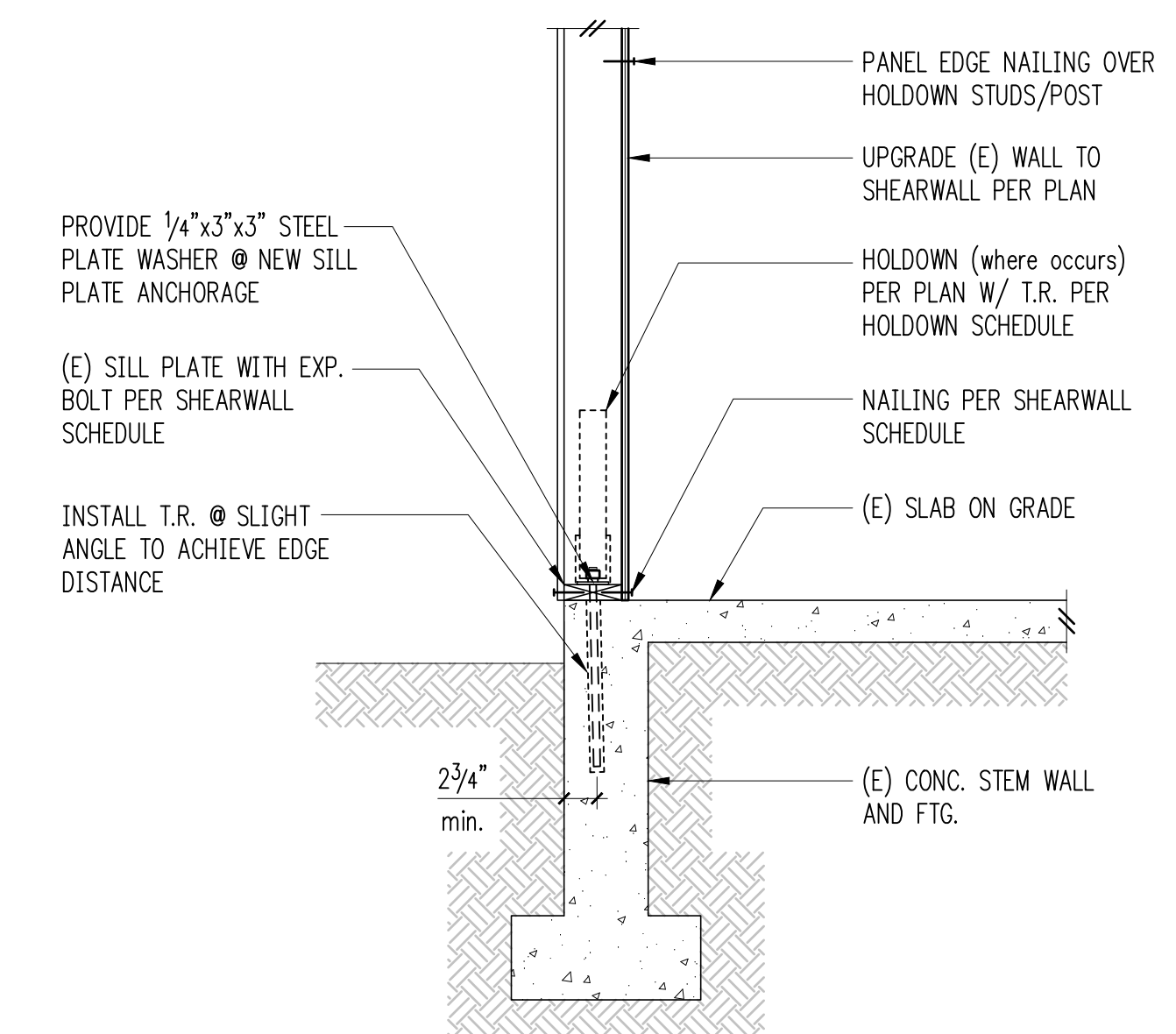
• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



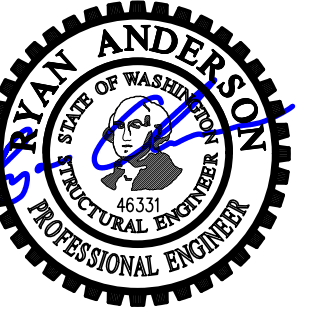
• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



• ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER GENERAL NOTES



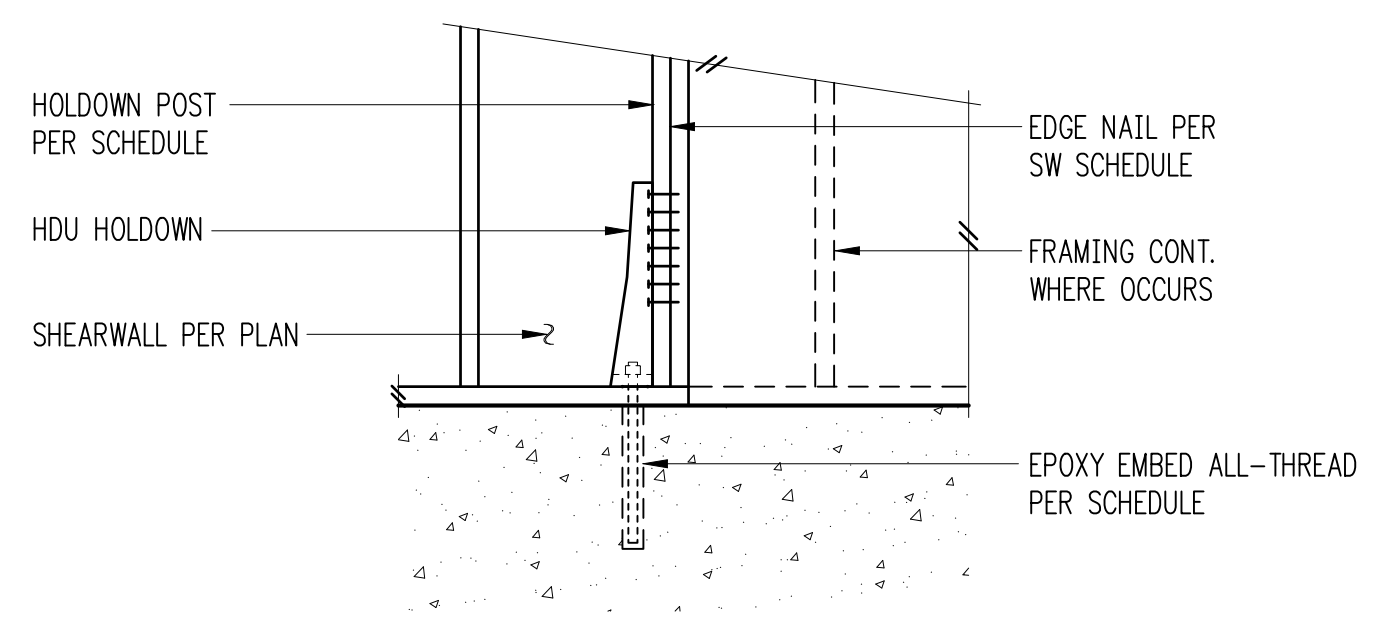
DESIGN: JDT
 DRAWN: JDT
 CHECKED: JDT
 APPROVED: RJA

REVISIONS:
 1 Permit Corrections August 8, 2023

PROJECT TITLE:
Kaempff Residence
 8238 SE 72nd St
 Mercer Island, WA 98040

ARCHITECT:
HERE architecture + interiors
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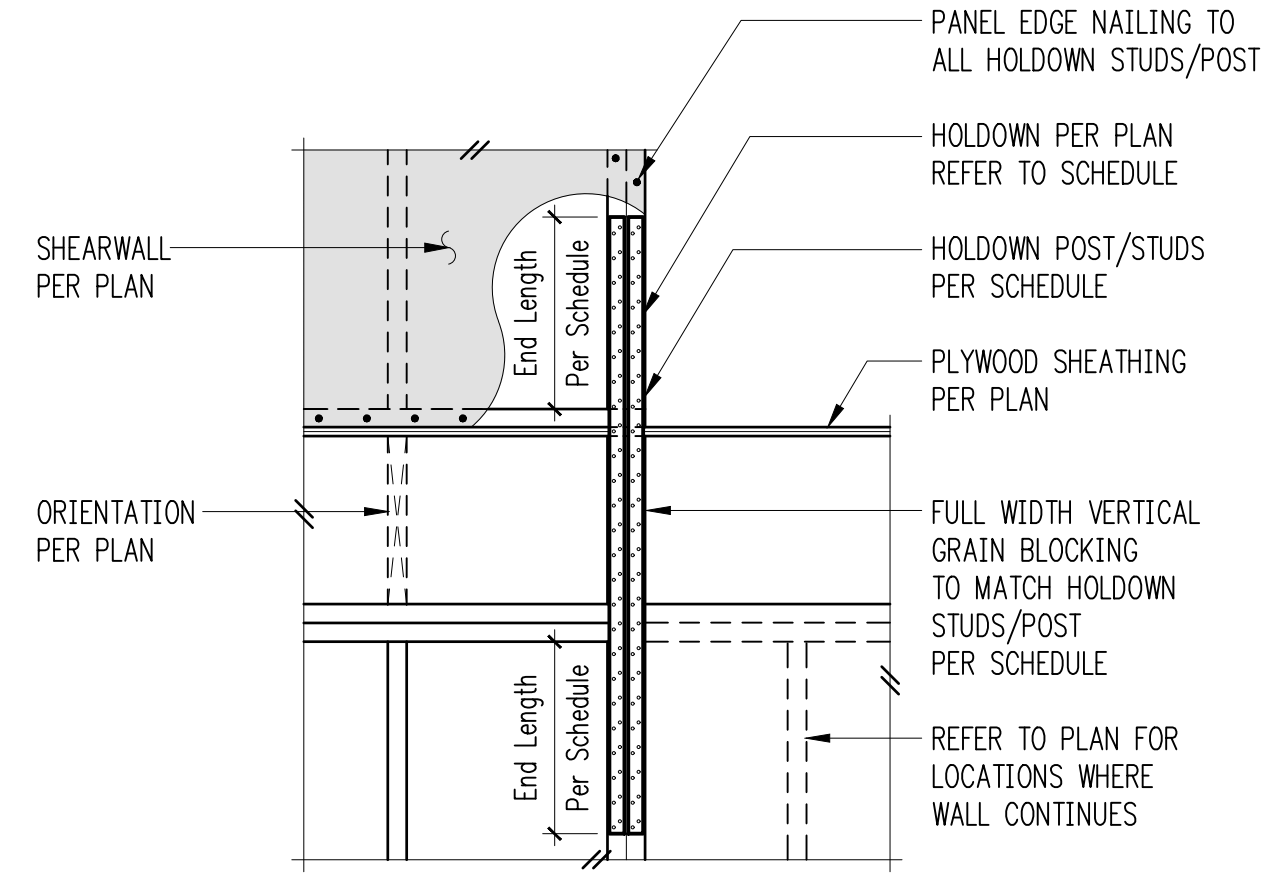
ISSUE:
Permit
 SHEET TITLE:
Typical Wood Framing Details
 SCALE: 3/4" = 1'-0" U.N.O.
 DATE: February 22, 2023
 PROJECT NO: 13021-2022-03
 SHEET NO:



Holddown Schedule

Plan Mark	Screws	Threaded Rod	T.R. Embed	Holddown Post ^①	
				if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2 1/2"	5/8"Ø	12"	(2) 2x4	(2) 2x6
HDU4-SDS2.5	(10)SDS 1/4"x2 1/2"	5/8"Ø	16"	4x4	4x6
HDU5-SDS2.5	(14)SDS 1/4"x2 1/2"	5/8"Ø	20"	4x6	4x6

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.



Holddown Strap Schedule

Plan Mark	End Length	#Nails Ea. End Length	Holddown Studs/Post	
			if 2x4	if 2x6
CS16	1'-2"	(13) 8d	(1) 2x4	(1) 2x6

1

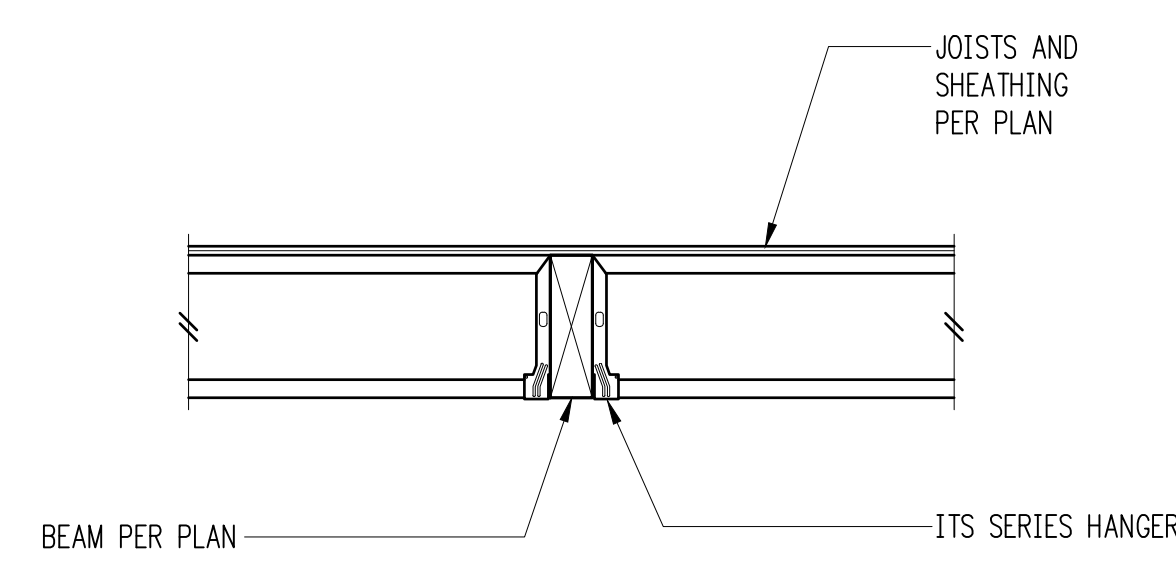
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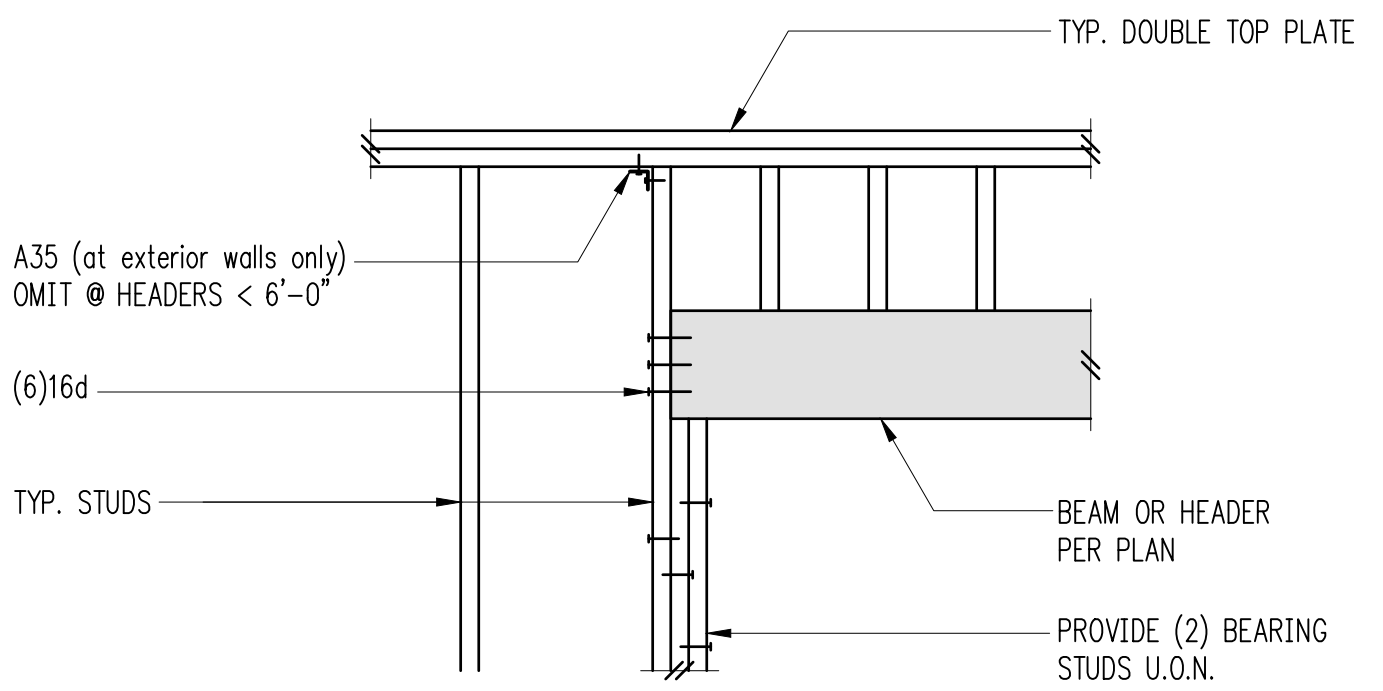
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Typical HDU Holddown

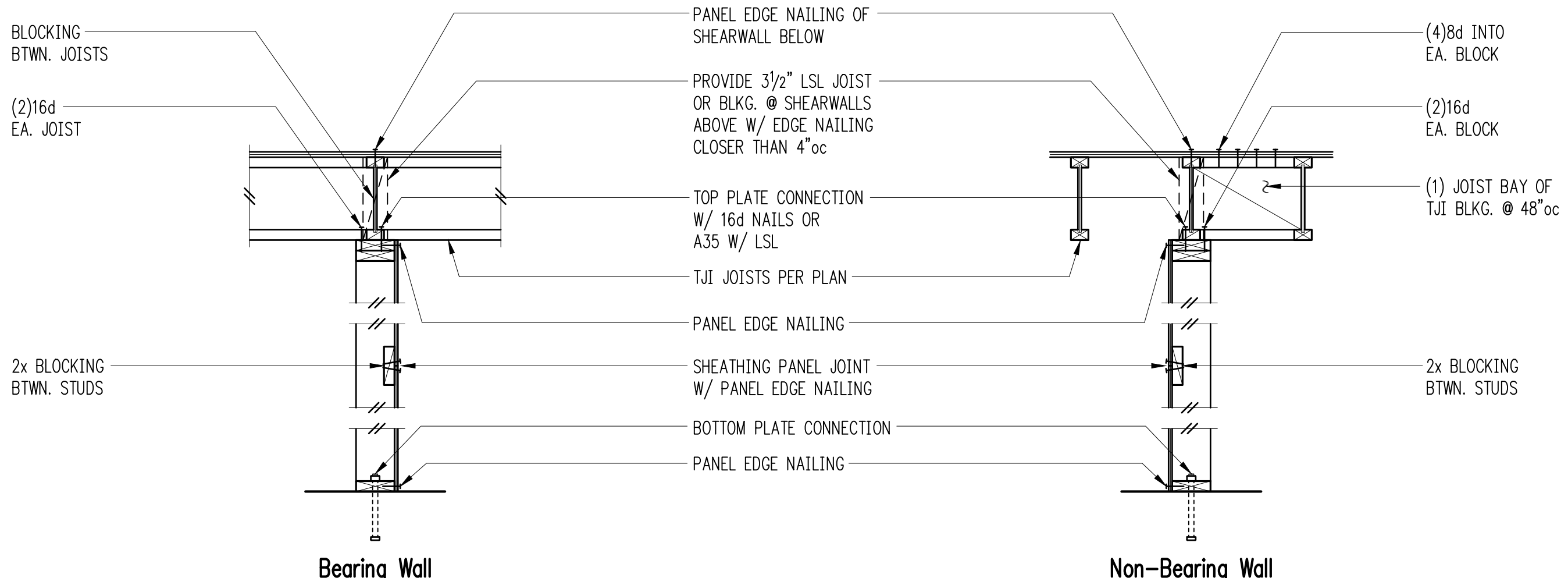
Typical Holddown Schedule



Typical Flush Beam



Typical Header Support w/2 Bearing Studs

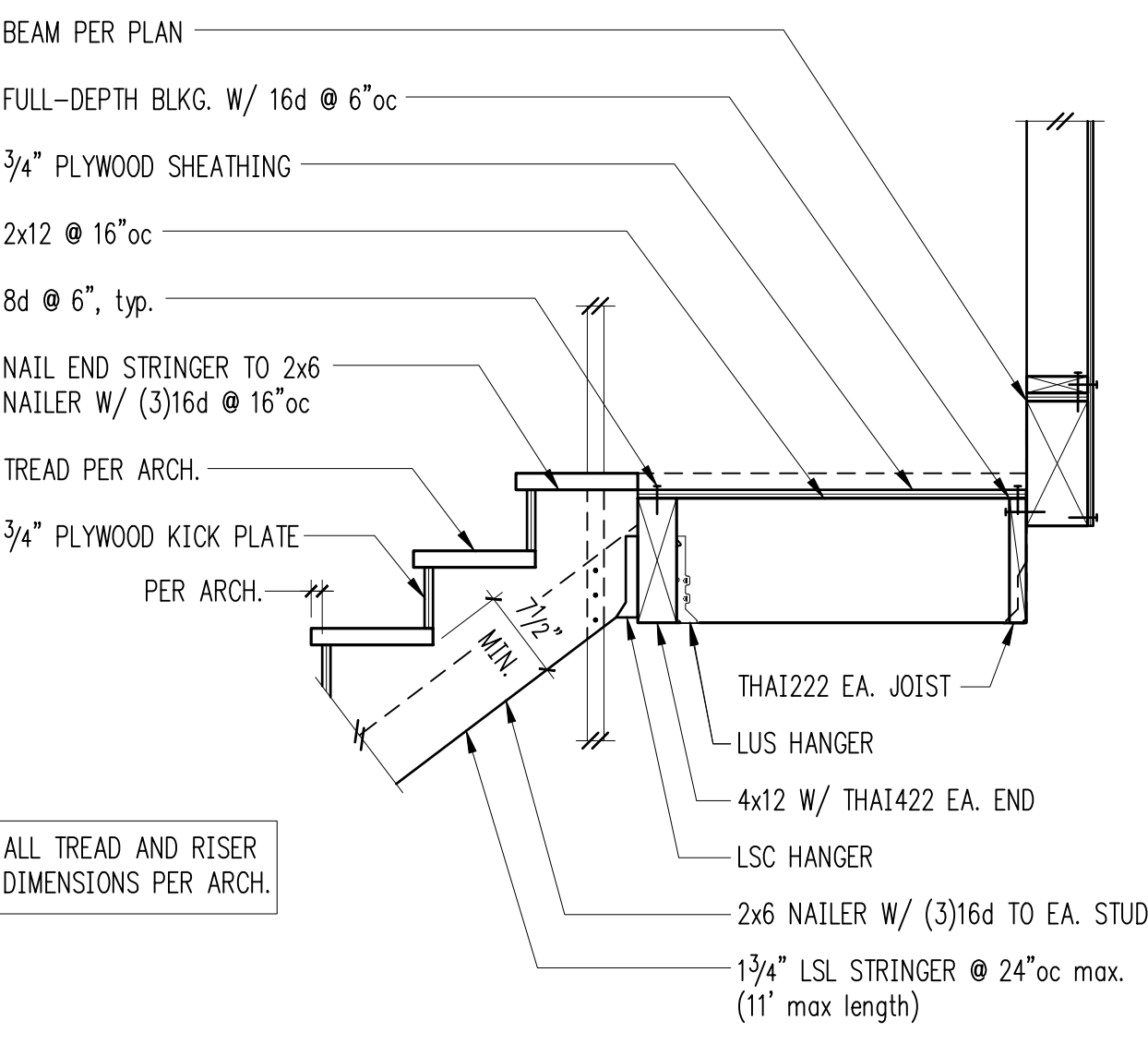


NOTE: SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, NOT OTHERWISE NOTED

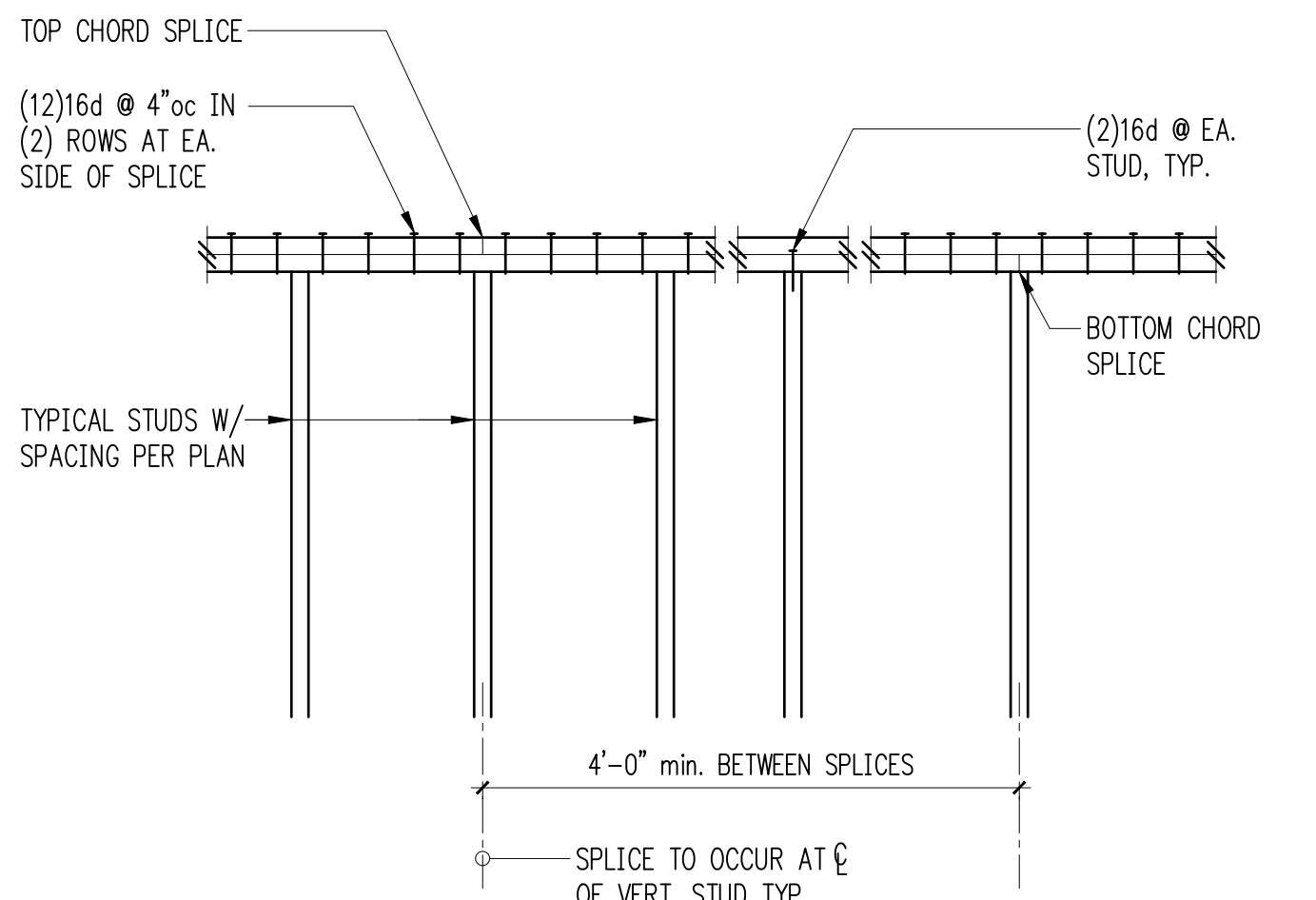
Typical Shearwall Construction

6

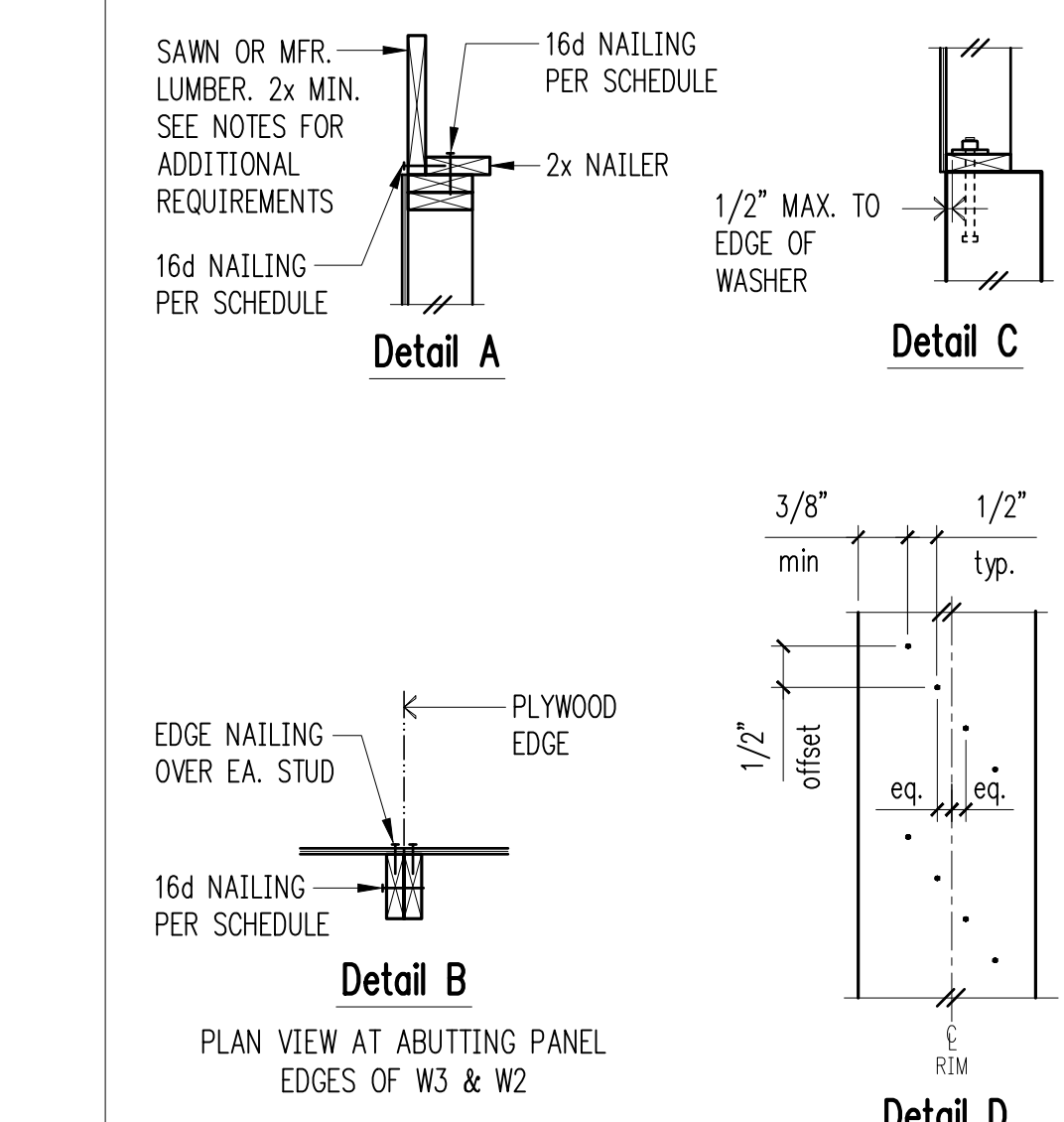
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Typical Stair and Landing Detail



Typical Top Plate Splice



Shearwall Schedule ①②③④⑤⑥⑦⑧

Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood ^⑤	at Wood ^{①②}	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc ^⑩	16d @ 6"oc	5/8"Ø A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc ^⑩	(2)rows 16d @ 6"oc	5/8"Ø A.B. @ 32"oc
W3 ^④	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc ^⑩	(2)rows 16d @ 6"oc	5/8"Ø A.B. @ 24"oc
W2 ^④	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc ^⑩	(2)rows 16d @ 4"oc ^⑬	5/8"Ø A.B. @ 16"oc
2W3 ^④	15/32" CDX PLYWD. EA. SIDE	8d @ 3"oc EA. SIDE	n/a	A35 @ 6"oc	(3)rows 16d @ 4"oc ^⑬	5/8"Ø A.B. @ 16"oc
2W2 ^④	15/32" CDX PLYWD. EA. SIDE	8d @ 2"oc EA. SIDE	n/a	HGA10KT @ 8"oc	(3)rows 16d @ 4"oc ^⑬	5/8"Ø A.B. @ 12"oc
2W2-10 ^⑤	15/32" CDX PLYWD. EA. SIDE	10d @ 2"oc EA. SIDE	n/a	HGA10KT @ 6"oc	(4)rows 16d @ 4"oc ^⑬	5/8"Ø A.B. @ 12"oc

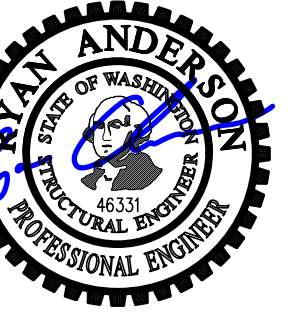
- BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"oc.
- 8d NAILS SHALL BE 0.131"Ø x 2 1/2" (common) - 16d NAILS SHALL BE 0.135"Ø x 3 1/2" (box) - 10d NAILS SHALL BE 0.148"Ø x 3" (common).
- EMBED ANCHOR BOLTS AT LEAST 7". EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. ITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
- 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- 3x FOUNDATION SILL PLATES ARE REQUIRED FOR 2W3 AND 2W2. 3x STUDS ARE REQUIRED AT ABUTTING PANEL EDGES AND PANEL JOINTS SHALL BE OFFSET EACH SIDE OF WALL. STAGGER NAILS AT ADJOINING PANEL EDGES. 3x STUD, MIN., REQUIRED AT END OF SHEARWALL.
- TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SINGLE-SIDED SHEARWALLS. ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX, EXCEPT AT 10d PANEL EDGE NAILING.
- LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
- LVL RIMS PERMITTED AT SINGLE SIDED SHEAR WALLS ONLY.
- PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.
- MINIMUM RIM OR JOIST 3/2" WIDE BELOW SHEARWALL.

Shearwall Schedule

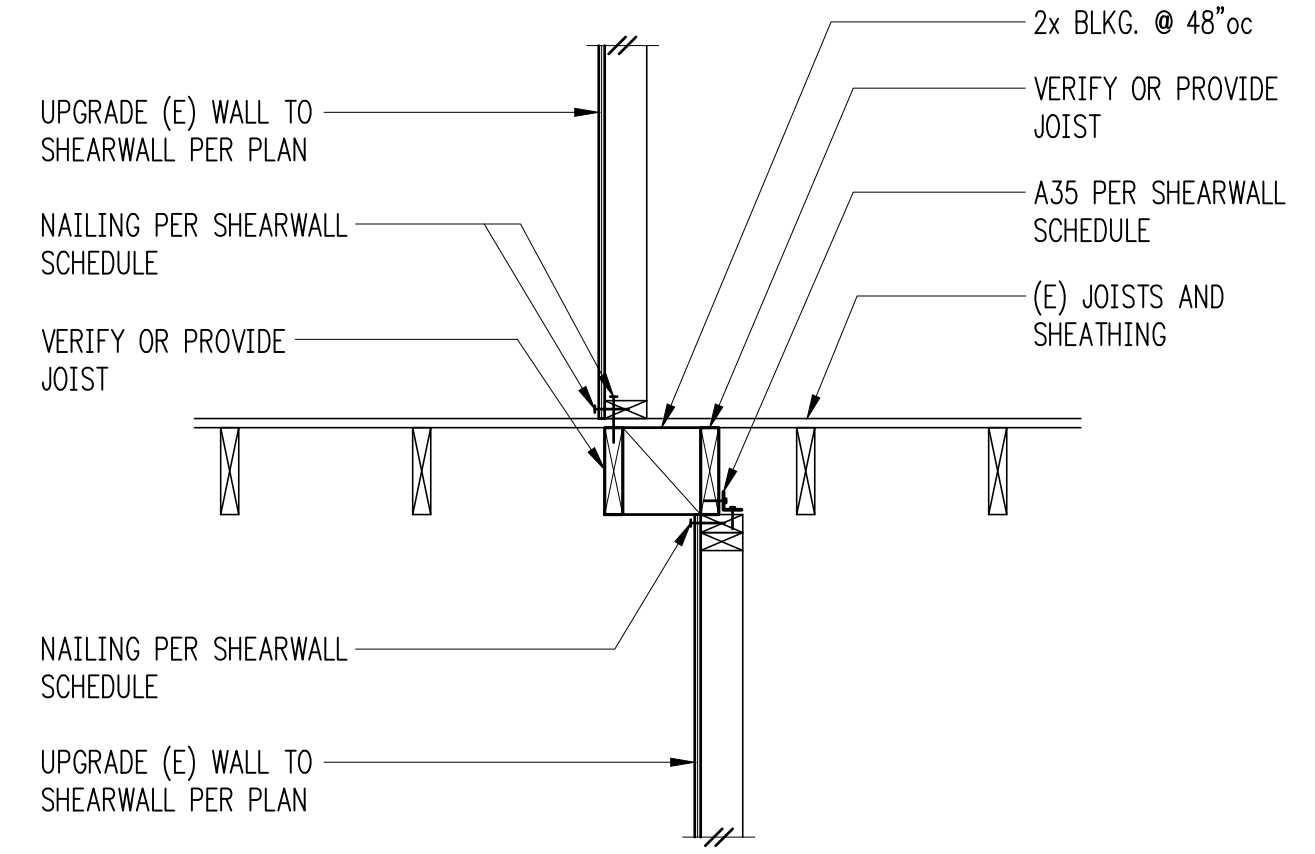
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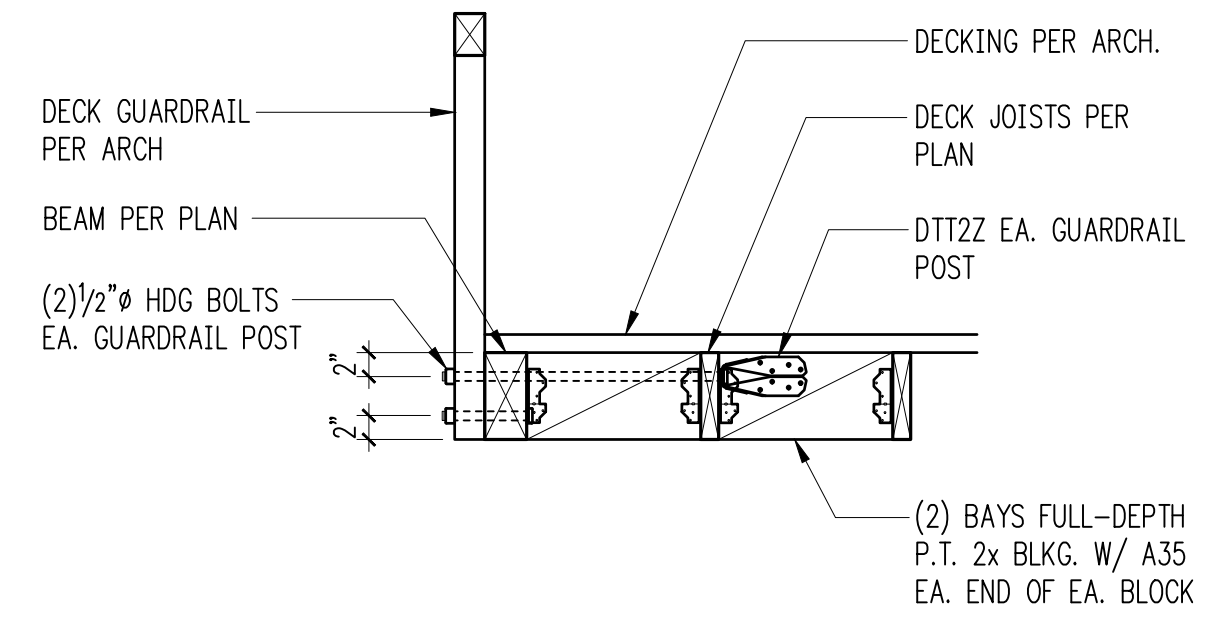


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 DRAWN: JDT
 CHECKED: JDT
 APPROVED: RJA

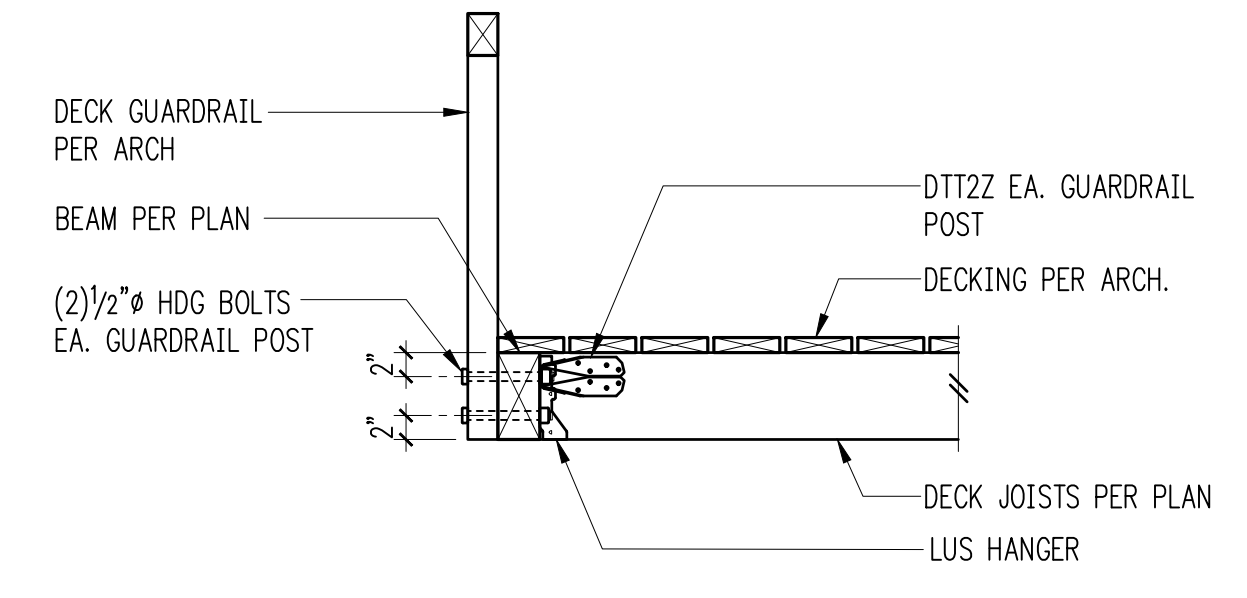


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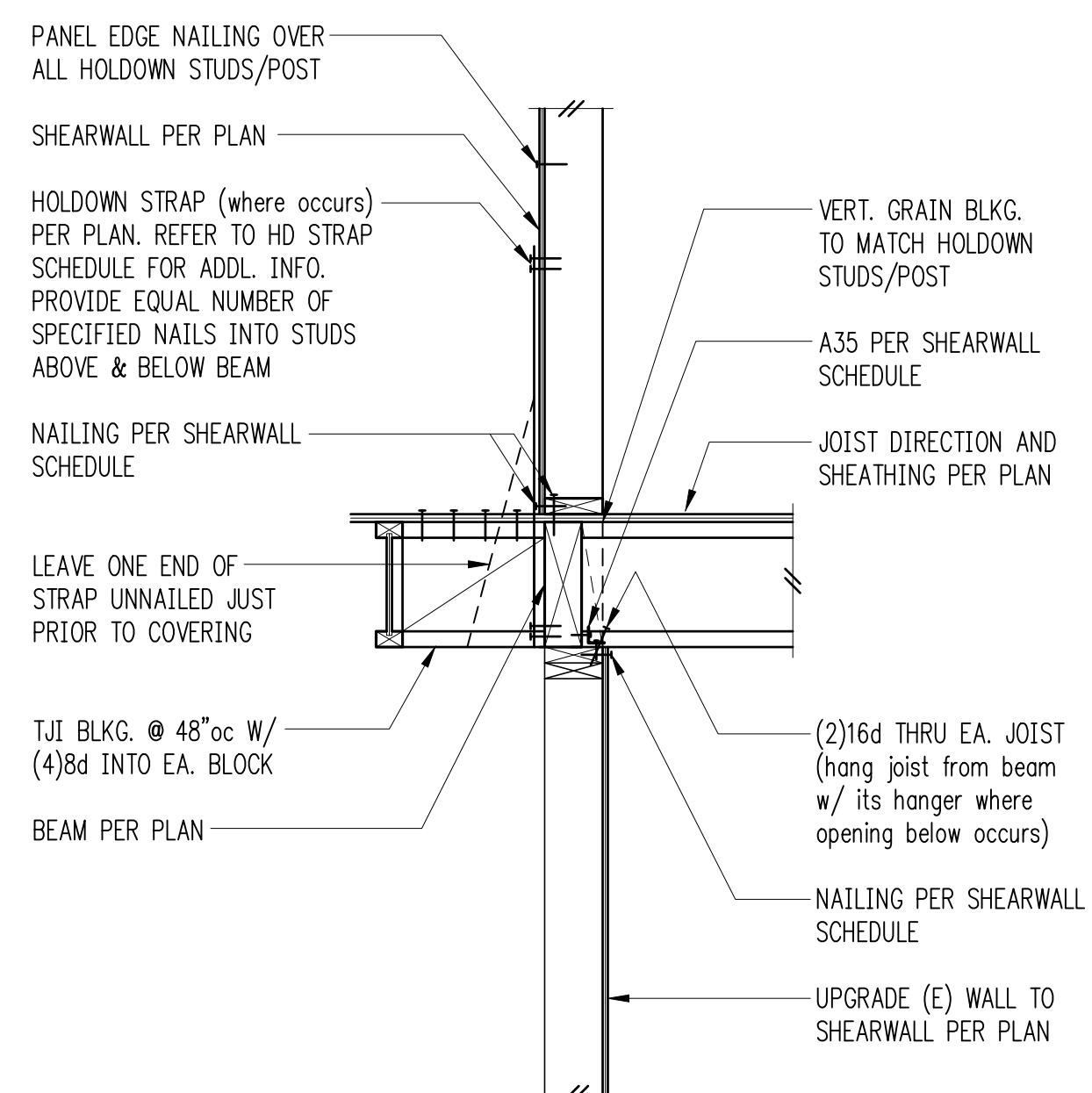
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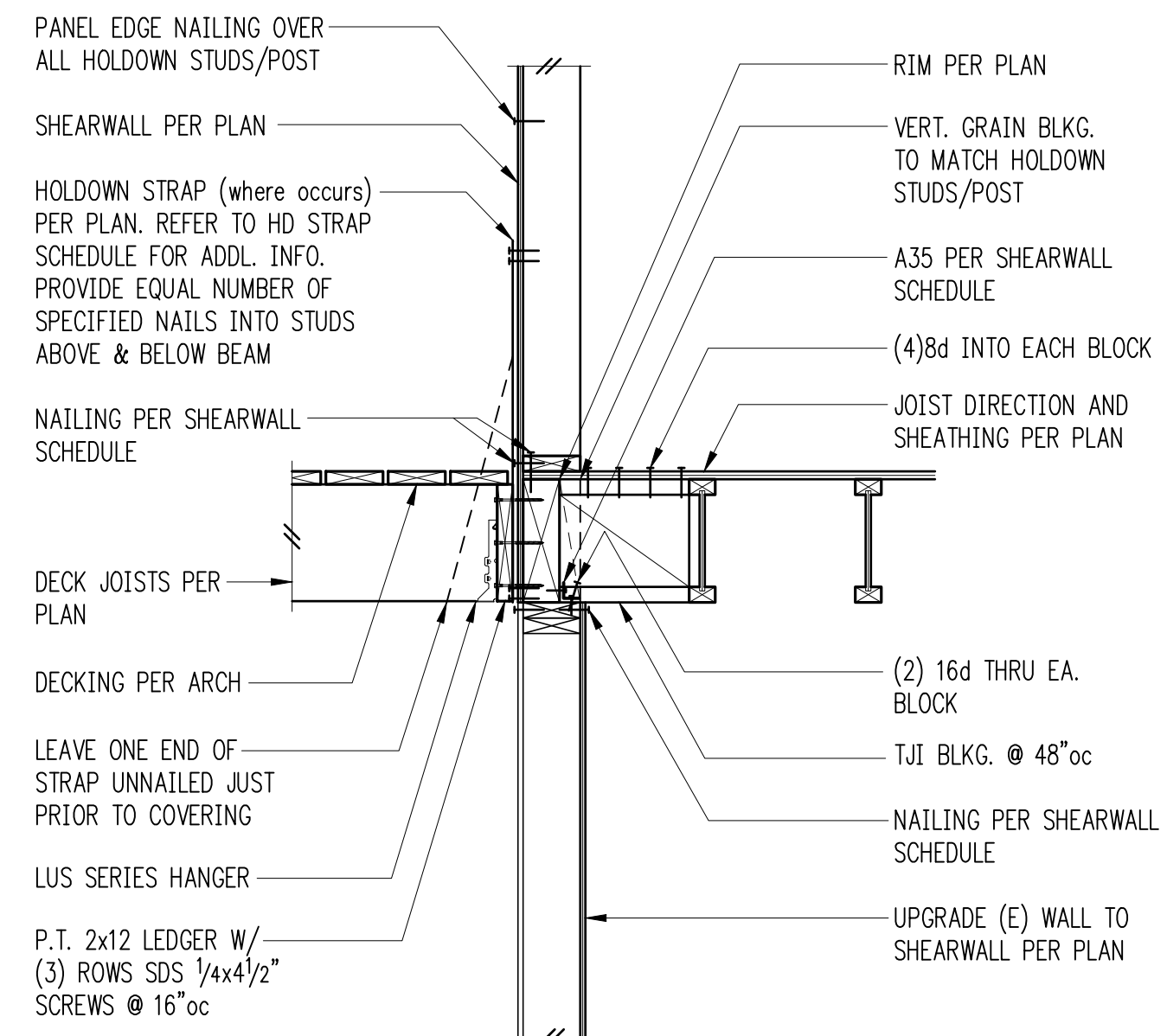
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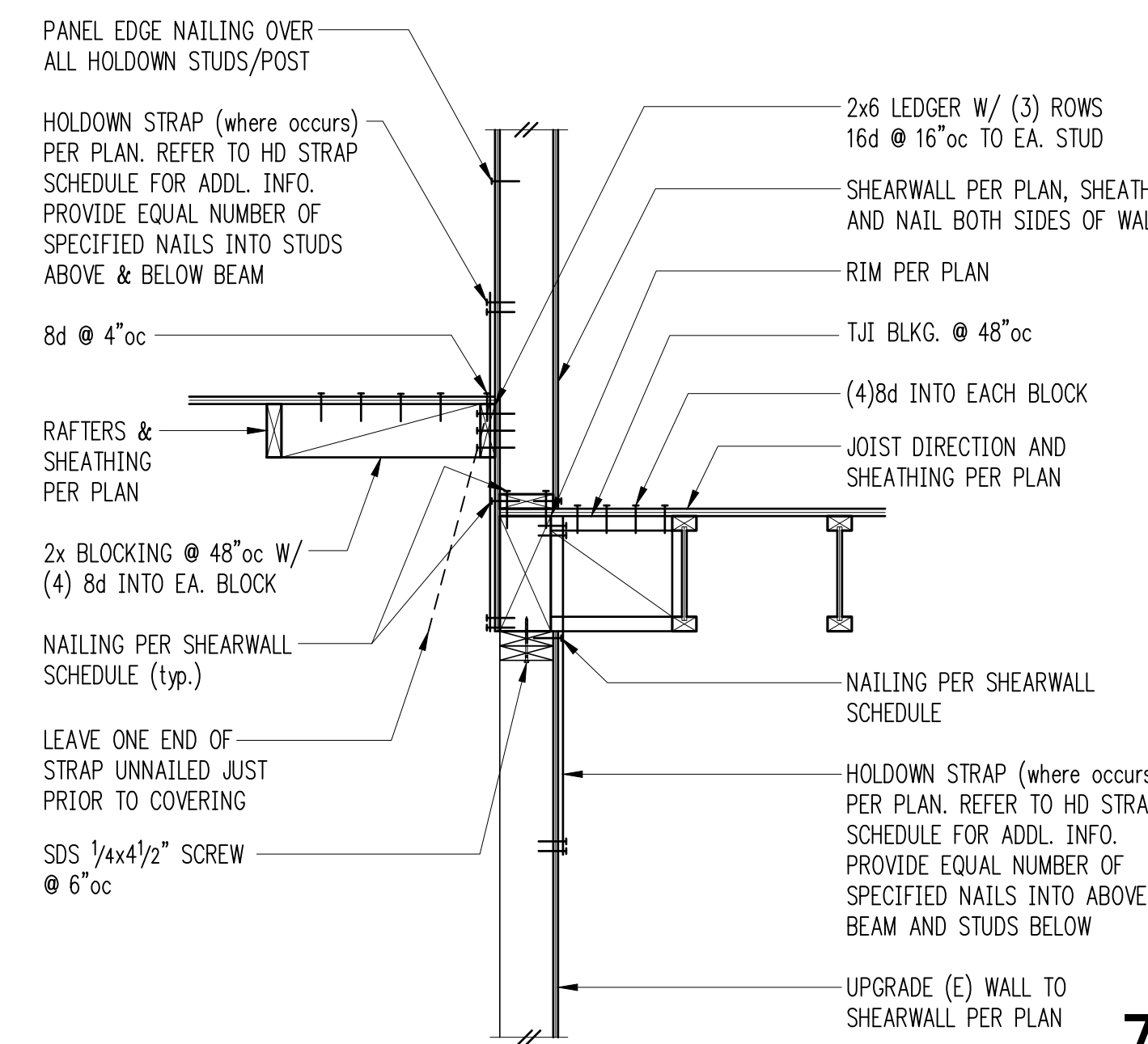
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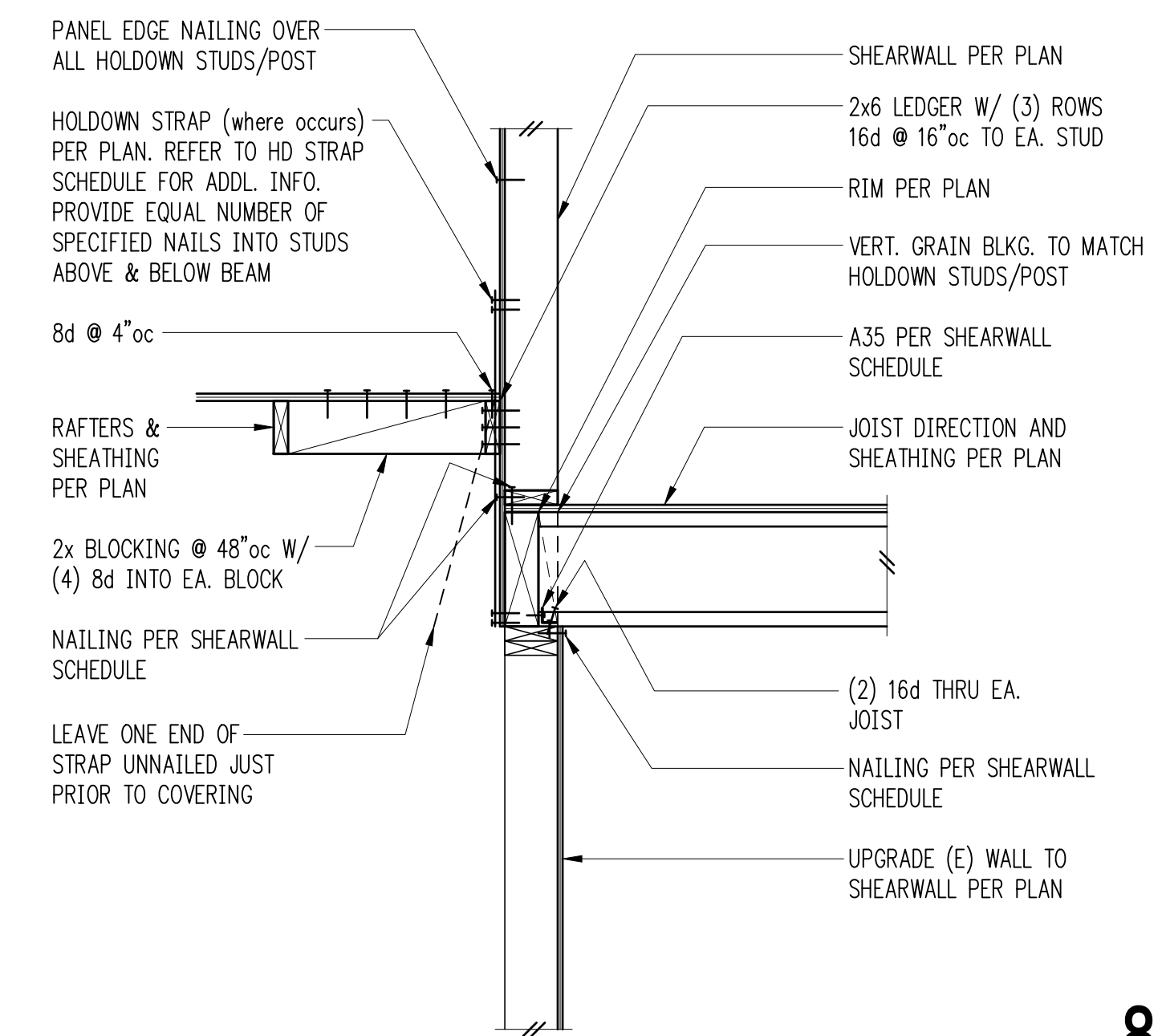
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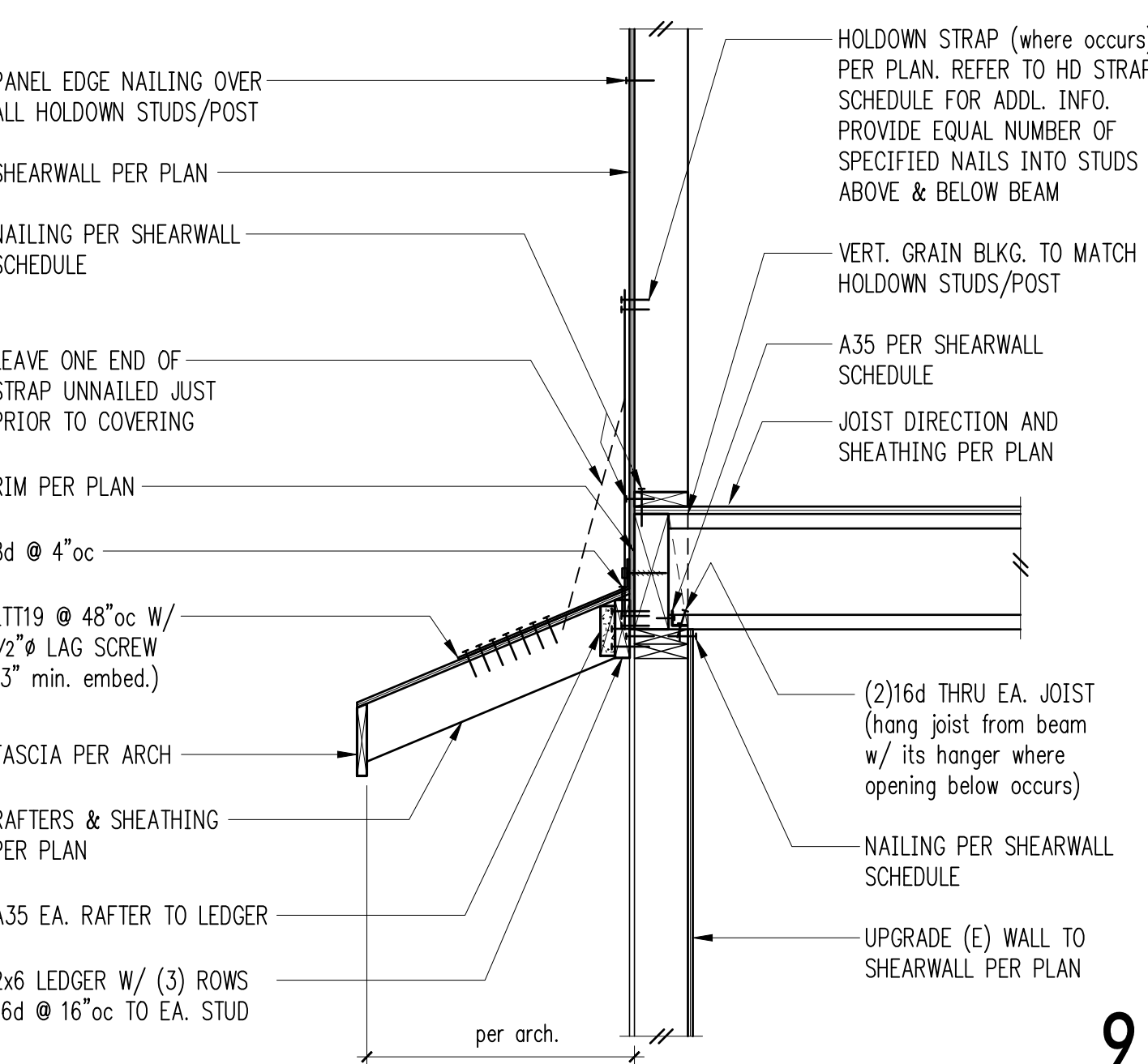
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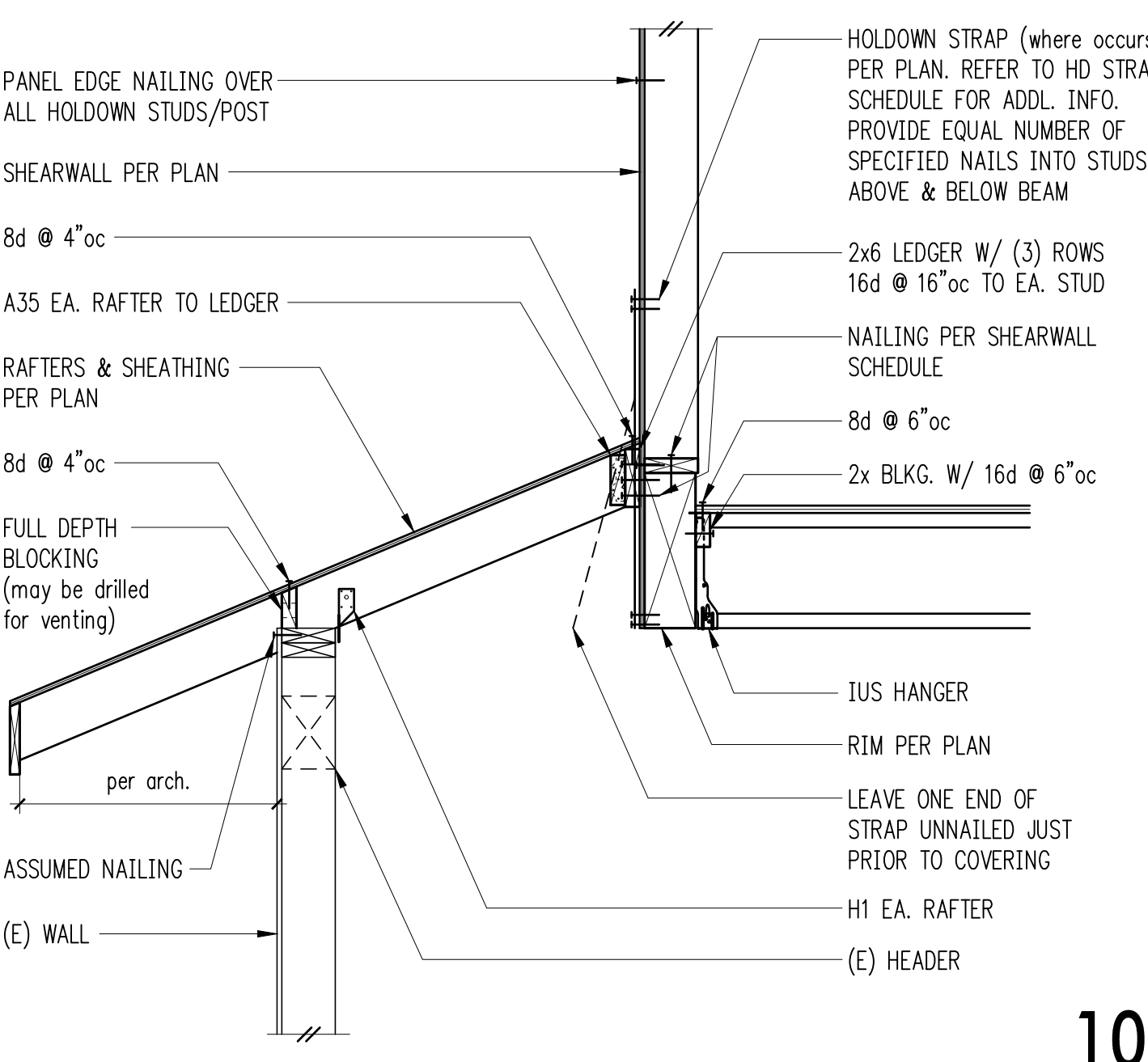
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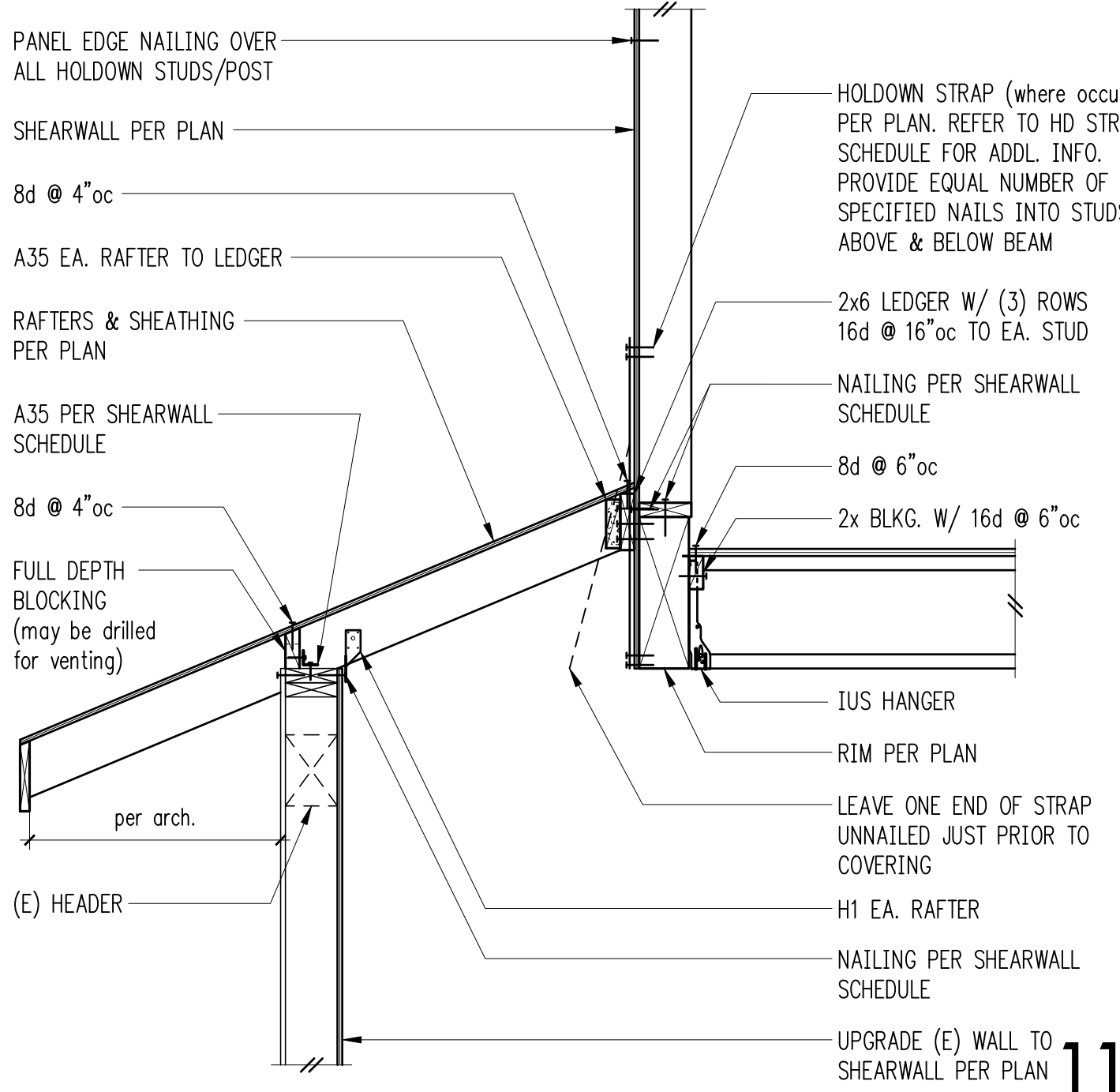
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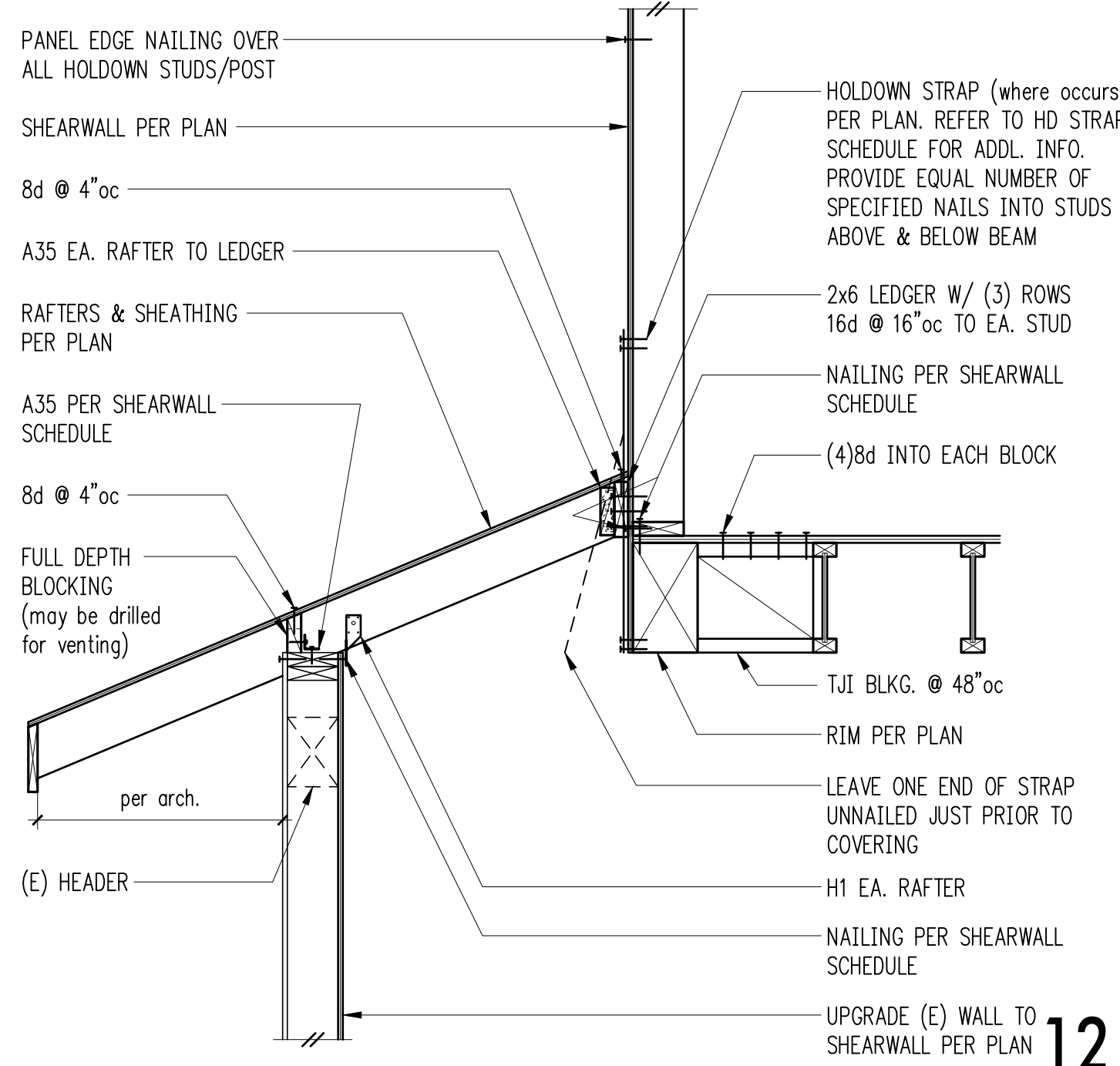
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12

REVISIONS:

NO.	DESCRIPTION

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Kaempff Residence
 8238 SE 72nd St
 Mercer Island, WA 98040

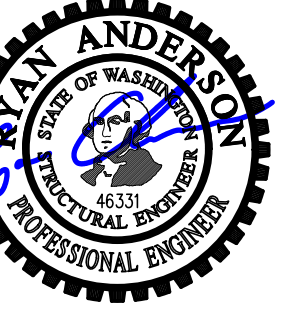
ARCHITECT:
HERE architecture + interiors
 9221 11th Ave SW
 Seattle, WA 98106
 PH 425.830.2360
 www.here.design

ISSUE:
Permit

SHEET TITLE:
Wood Framing Details

SCALE: 3/4" = 1'-0" U.N.O.
 DATE: February 22, 2023
 PROJECT NO: 13021-2022-03
 SHEET NO:

S4.2



DESIGN: JDT
 DRAWN: JDT
 CHECKED: JDT
 APPROVED: RJA

REVISIONS:

DPD:

PROJECT TITLE:
Kaempfer Residence
 8238 SE 72nd St
 Mercer Island, WA 98040

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ISSUE:
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Wood Framing Details
 SCALE: 3/4" = 1'-0" U.N.O.
 DATE: February 22, 2023
 PROJECT NO: 13021-2022-03
 SHEET NO:

S4.3

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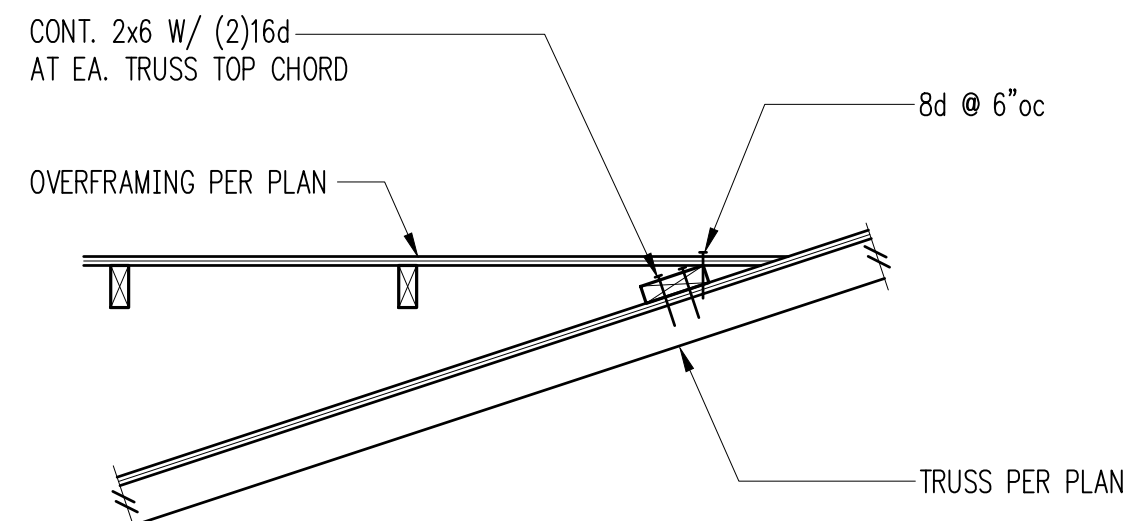
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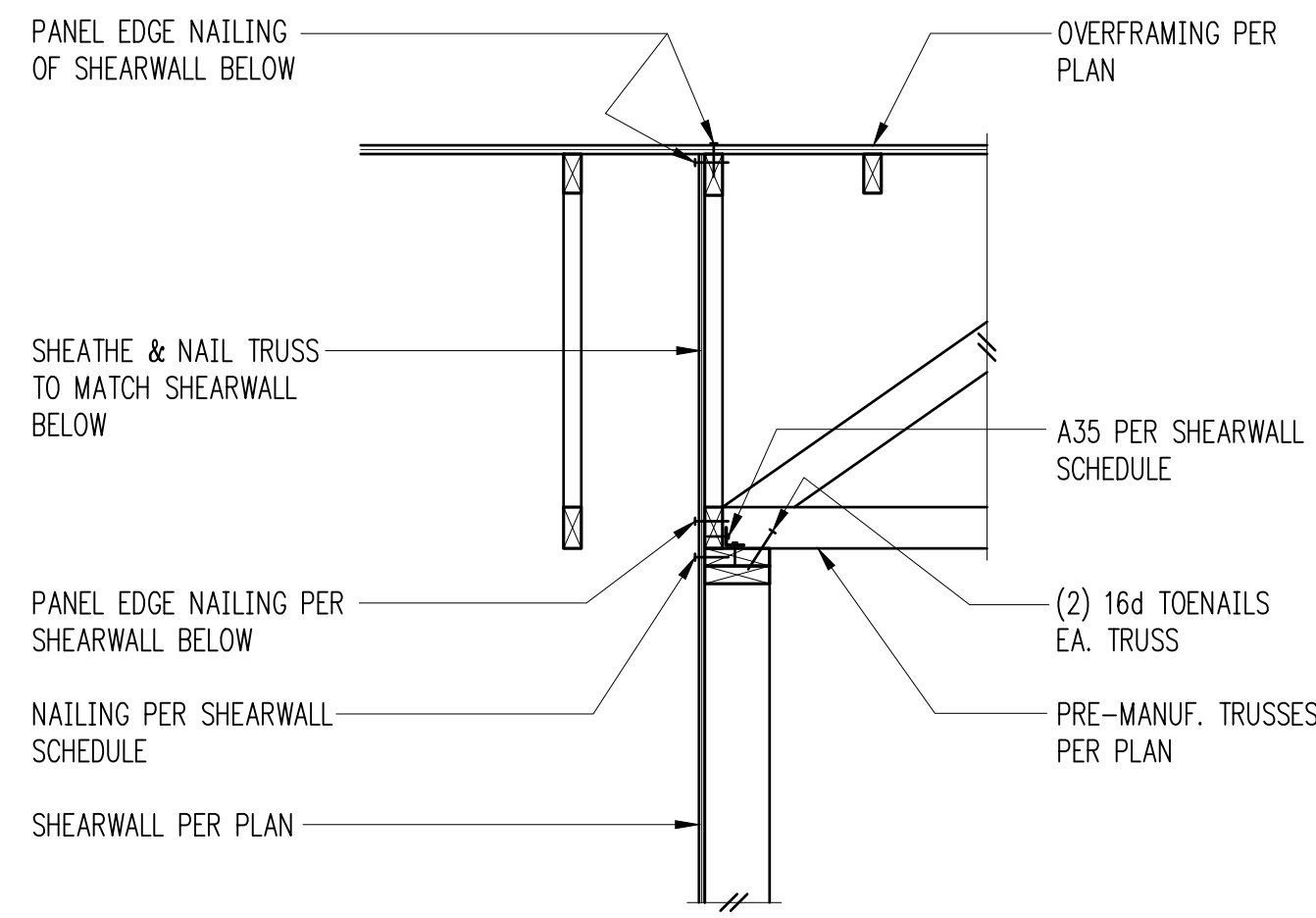
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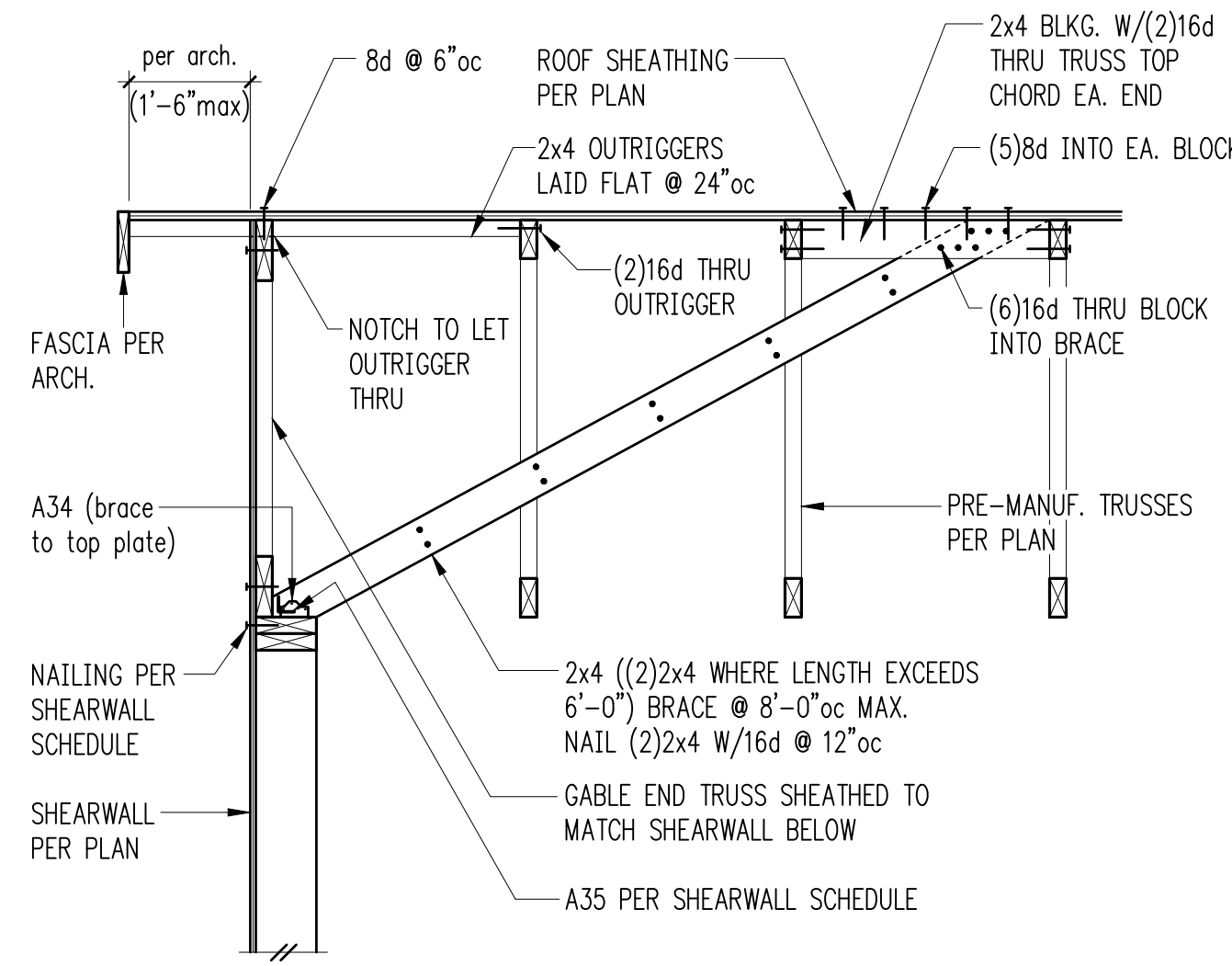
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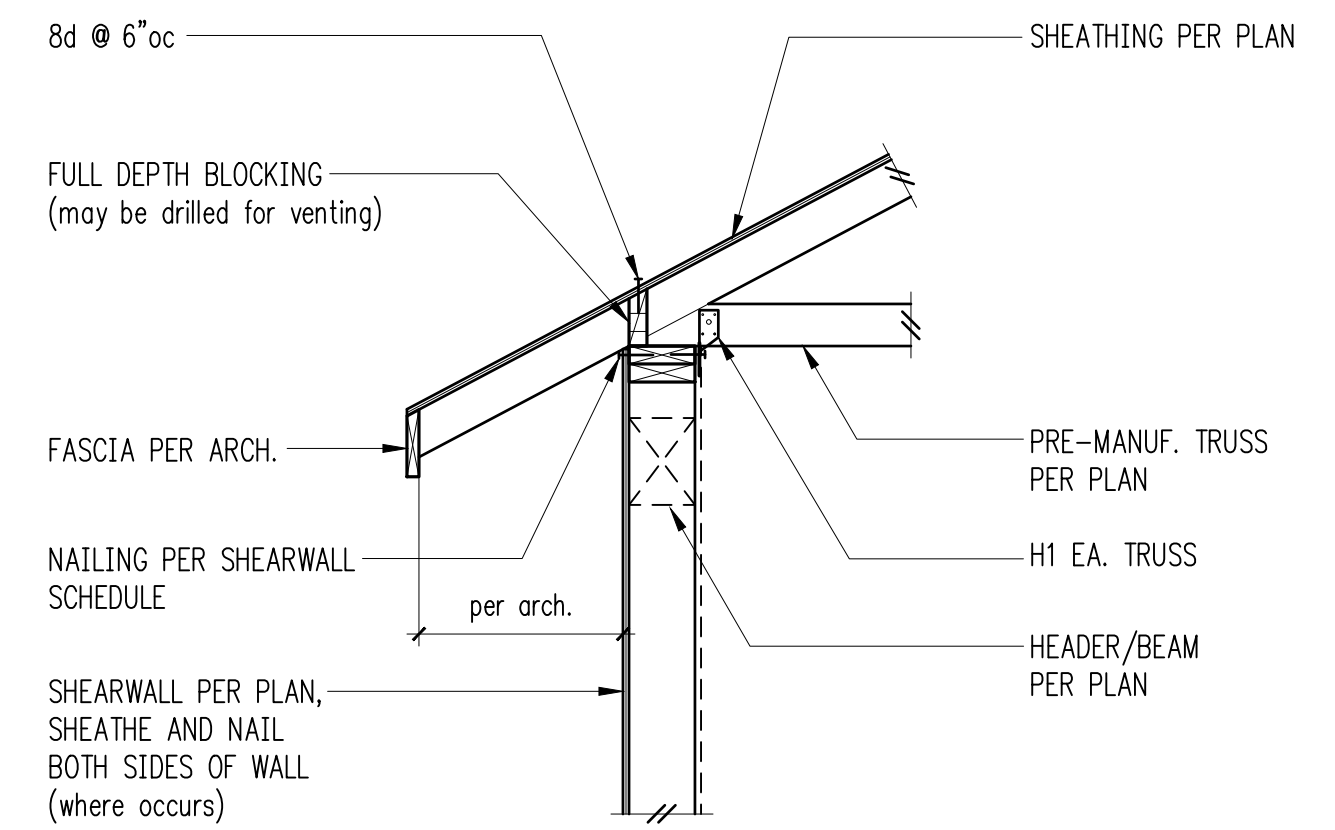
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